

PROJECT MANUAL APPENDIX EPPS-MCGILL FARMHOUSE

MEADORS, Inc.

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**HISTORIC PRESERVATION CERTIFICATION APPLICATION
STATE HISTORIC PRESERVATION OFFICE
REVIEW & RECOMMENDATION SHEET
PART 2 / PART 3—REHABILITATION**

SECTION 1. APPLICATION INFORMATION

PROJECT NUMBER

Historic Property Name Epps-McGill Farm House

Property Address 679 Eastland Avenue, Kingstree, SC

Certified Historic Structure (select one) Yes Pending

Part 2

Preliminary consultation (date) _____

Applying for state tax credit

Part 3 (Part 2 previously reviewed)

Completed rehabilitation work conforms to work previously approved

Completed rehabilitation work differs substantively from work previously approved
(describe divergences from Part 2 scope of work in Section 5)

Part 3 (Part 2 not previously reviewed)

Application received (date) 11-17-2021

Amendment (applicant signature date 2-28-2022)

Additional information requested (date/s) 12-23-2021

Request for an advisory determination for a phase

Complete information received (date) 4-22-2022

Property visited by SHPO staff (date/s):

Transmitted to NPS (date) 5-3-2022

Before _____, during _____, and/or after _____ rehab.

SHPO REVIEW SUMMARY

No outstanding concerns

In-depth NPS review requested

Applicant informed of SHPO recommendation

SECTION 2. APPLICATION MATERIALS

Sent previously: Photographs Other (list) _____

Attachments: Photographs Rolled plans Flat plans, large size Flat plans, 11" x 17" or smaller Other (list)

Sent separately: Photographs Rolled plans Flat plans, large size Flat plans, 11" x 17" or smaller Other (list)

Documentation remaining on file in SHPO (e.g., masonry repointing samples, specifications) _____

SECTION 3. SHPO RECOMMENDATION

Dan Elswick, who meets the Secretary of the Interior's Professional Qualification Standards, has reviewed this application.

This rehabilitation work (select only one):

meets the Standards.

meets the Standards with concerns.

meets the Standards *only* if the attached conditions are met (Part 2 and Amendments only).

does not meet Standard number(s) _____ and for the reasons described in Section 5.

does not meet Standard number(s) _____ as completed, but could be brought into conformance with the Standards if the remedial work recommended in Section 5 is completed (Part 3 only).

warrants denial for lack of information.

is being forwarded without recommendation.

5/3/2022

Date

State Historic Preservation Office Signature

SECTION 4. ISSUES

- | | | | |
|-------------------------------------|--|--------------------------|---|
| <input type="checkbox"/> | Alteration of significant exterior features or surfaces | <input type="checkbox"/> | Alteration, removal, or covering of significant interior features or finishes |
| <input checked="" type="checkbox"/> | Window replacement | <input type="checkbox"/> | Changes in significant interior plan, spaces, or circulation patterns |
| <input type="checkbox"/> | Additions, including rooftop | <input type="checkbox"/> | Other (explain) _____ |
| <input type="checkbox"/> | Extensive site work, adjacent new construction, or demolition of adjacent structures | | |

SECTION 5. SHPO EVALUATION

Explain the recommendation and any concerns, particularly issues checked in Section 4. Where denial is recommended, explain fully. For Part 3s, describe any work that differs substantially from the approved work. For Part 3s that do not meet the Standards as completed, describe remedial work, if any, that could enable the project to meet the Standards. Comment on notable aspects of the project, such as technical design innovations or creative solutions.

This project includes a comprehensive rehabilitation of this historic residence. New roofing will resemble the historic wood shingles and most other exterior features will be restored. Non-historic windows will be replaced with true-divided light, single pane sash based on the remaining historic sashes. A new side entrance will be "contemporary compatible" because the historic design is not known. Smart Strip Pro and Peel Away Paper will gently and sustainably remove paint.

On the interior, the significant spaces will be retained. New mechanical, electrical, and plumbing to be sensitively added in a manner that is minimally visible.

We recommend preliminary certification of the project as proposed.

SECTION 6. NATIONAL PARK SERVICE EVALUATION

Date

National Park Service Signature



HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 1 – EVALUATION OF SIGNIFICANCE

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.	NPS Project Number
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1. **Historic Property Name** Epps-McGill Farmhouse

Street 679 Eastland Avenue

City Kingstree County Williamsburg State SC Zip 29556

Name of Historic District or National Register property _____

National Register district certified state or local district potential district National Register property

2. **Nature of Request** (check only one box)

- certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
- certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
- certification that the building does not contribute to the significance of the above-named district or National Register property.
- preliminary determination for individual listing in the National Register.
- preliminary determination that a building located within a potential historic district contributes to the significance of the district.
- preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. **Project Contact** (if different from applicant)

Name Kalen McNabb Company Meadors, Inc.

Street P.O. Box 21758 City Charleston State SC

Zip 29405 Telephone (843) 509-8170 Email Address kalen@meadorsinc.com

4. **Applicant**

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

- I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or
- if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name _____ Signature (Sign in ink) _____ Date _____

Applicant Entity McGill Place Veggies LLC SSN _____ or TIN _____

Street 679 Eastland Avenue City Kingstree State SC

Zip 29556 Telephone (843) 354-6892 Email Address lilliemcgill@gmail.com

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 1 for the above-named property and has determined that the property:

- contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
- contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
- does not contribute to the significance of the above-named district or National Register property.

Preliminary Determinations:

- appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
- appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
- appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
- does not appear to qualify as a certified historic structure.

Date _____ National Park Service Authorized Signature (Sign in ink) _____

NPS Comments Attached

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE**

Historic Property Name Epps-McGill Farmhouse NPS Project Number _____

Property Address 679 Eastland Avenue, Kingstree, SC

5. Description of Physical Appearance

The Epps-McGill Farmhouse is a large two-story dwelling located on the west side of Eastland Avenue in Kingstree, South Carolina. The structure is situated on two acres on the remnants of the original fifty-one-acre Epps-McGill farmstead, just outside of the town limits. It is an example of Late Victorian Folk architecture with a wing and front gable plan and retains a high degree of historic integrity. Original character-defining features preserved on the exterior of the house include the building's unique porch ceilings, offset bay window, and wood soffit pendants. The interior of the structure features the original staircase, decorative mantels, and interior wood paneling. The structure has served as a farmhouse for the Epps-McGill farm since its construction in 1905. While the original farmstead has been reduced in size, the historic farmhouse retains a high degree of architectural integrity with limited modification of the Folk Victorian form. The structure is currently mothballed after suffering several years of neglect. The failure of the existing roof has accelerated the deterioration of the interior finishes. The house appears to have several active structural issues including failure and crushing of the perimeter sill on the north elevation. Overall, the later mid-20th century alterations do not significantly compromise the building's integrity. The original Folk Victorian character-defining features remain on the interior and exterior of the structure and the character of the building has changed little since its completion in 1907. The property retains a high degree of integrity regarding location, design, setting, materials, workmanship, feelings, and association.

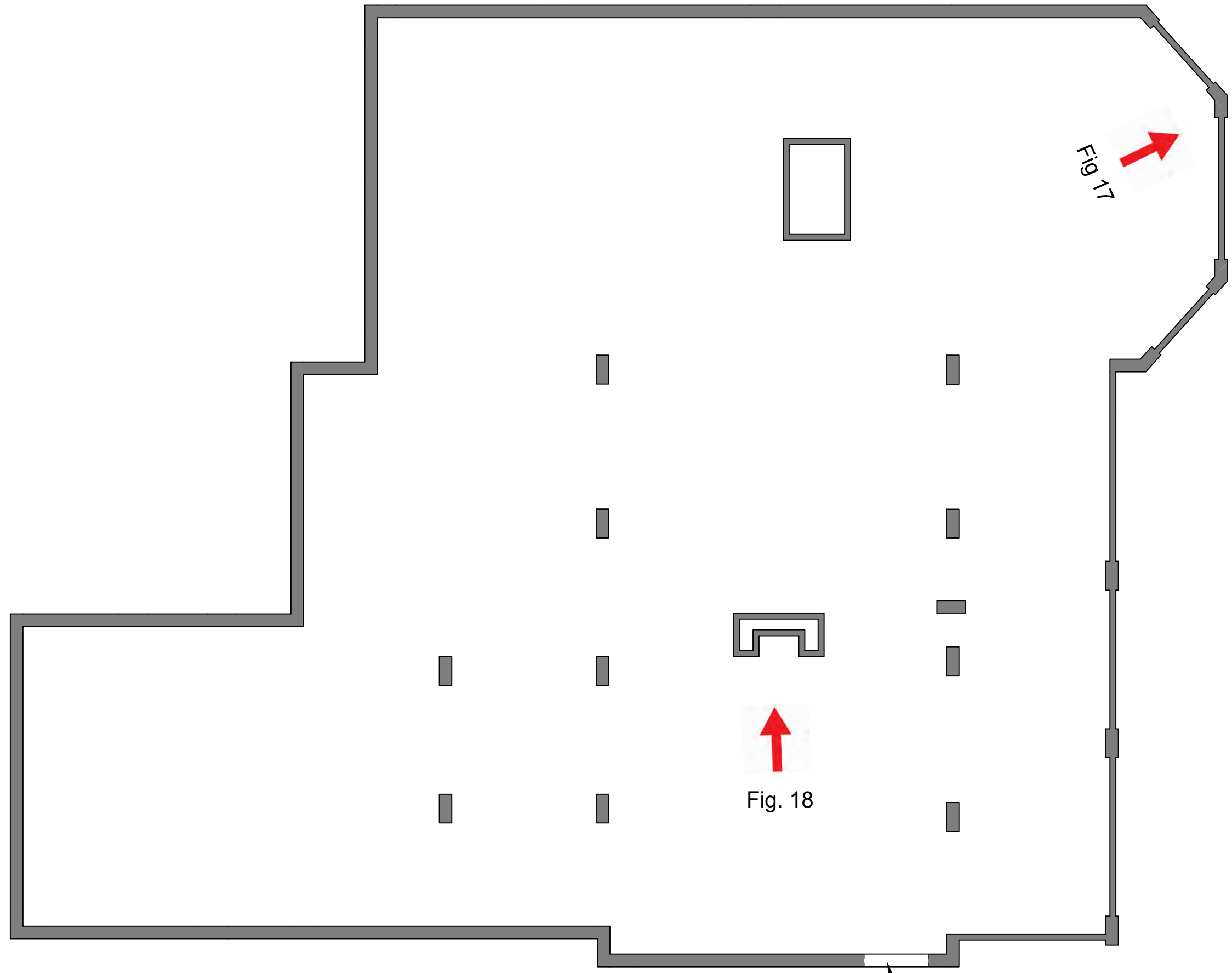
Date(s) of building(s) 1905-1907 Date(s) of alteration(s) 1953

Has building been moved? No Yes, specify date _____

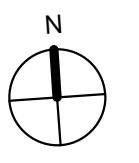
6. Statement of Significance

Constructed from 1905 to 1907 in agrarian Williamsburg County, the Epps-McGill Farmhouse is a two-story Folk Victorian structure that has served as the residence for generations of local farmers working the fifty-one-acre farmstead that historically surrounded the property. The Farmhouse is eligible for listing in the National Register of Historic Places under Criterion A for its association with the development of agriculture and tenant farming from 1953 to 1976 in Williamsburg County, particularly as an unusual example of a property that ultimately came into the legal possession of an African American family that first lived there as sharecroppers. The Epps-McGill Farmhouse is also eligible under Criterion C at the local level of significance in architecture. The building is a rare surviving example of Folk Victorian architecture in Williamsburg County, featuring Queen Anne influences, cutaway bay windows, and numerous rooms with tongue-and-groove wood paneling.

7. Photographs and Maps. Send photographs and map with application.



② CRAWLSPACE - PHOTO KEY PLAN
3/16" = 1'-0"



**EPPS-MCGILL
FARMHOUSE**
679 Eastland Ave
Kingstree, South Carolina 29556

Construction Documents
PHASE 1

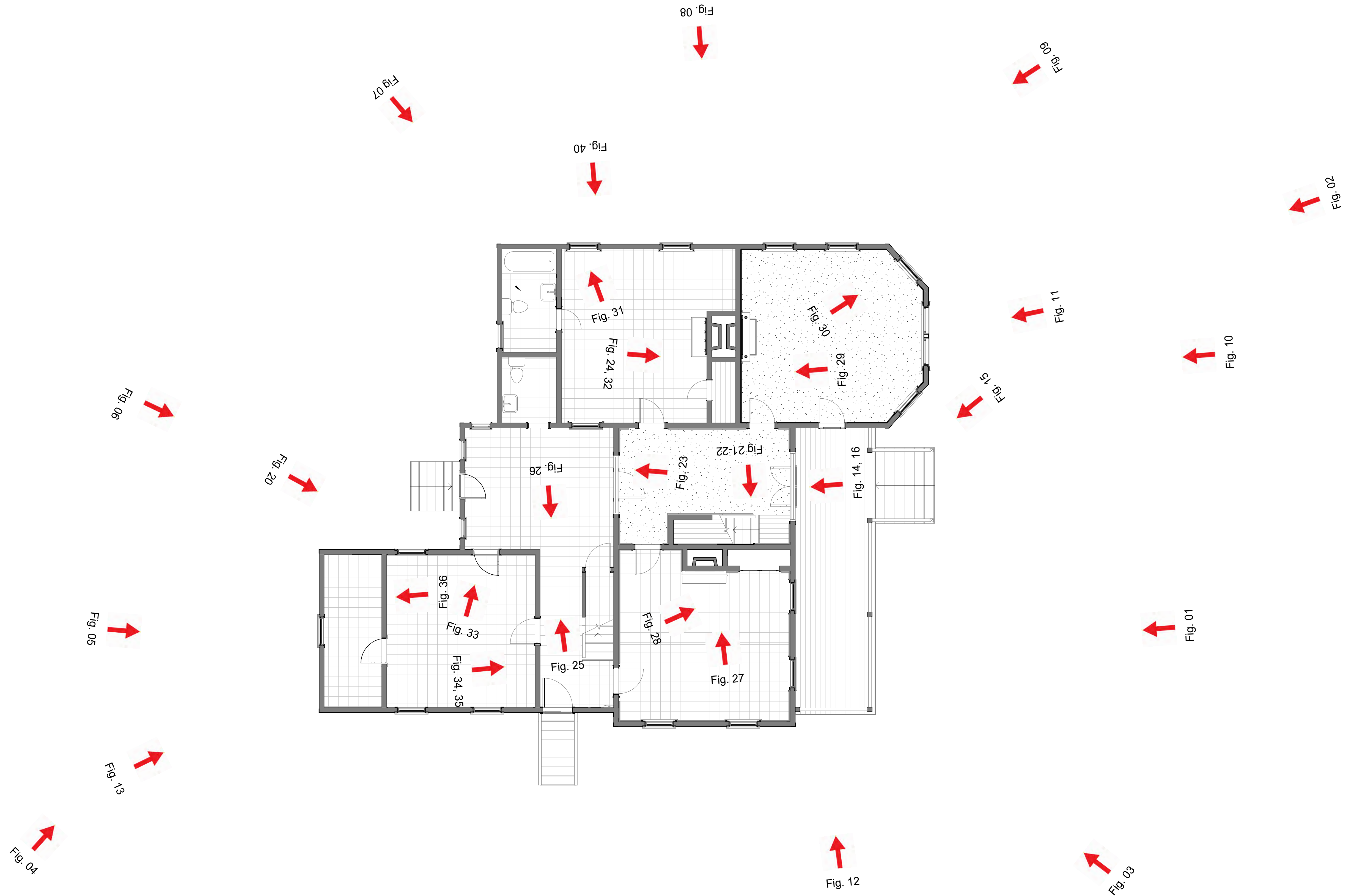
PROJ. NO. 20-0087
ISSUE DATE: 04/08/21

REVISIONS
DATE NOTES

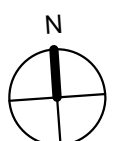
#	DATE	NOTES

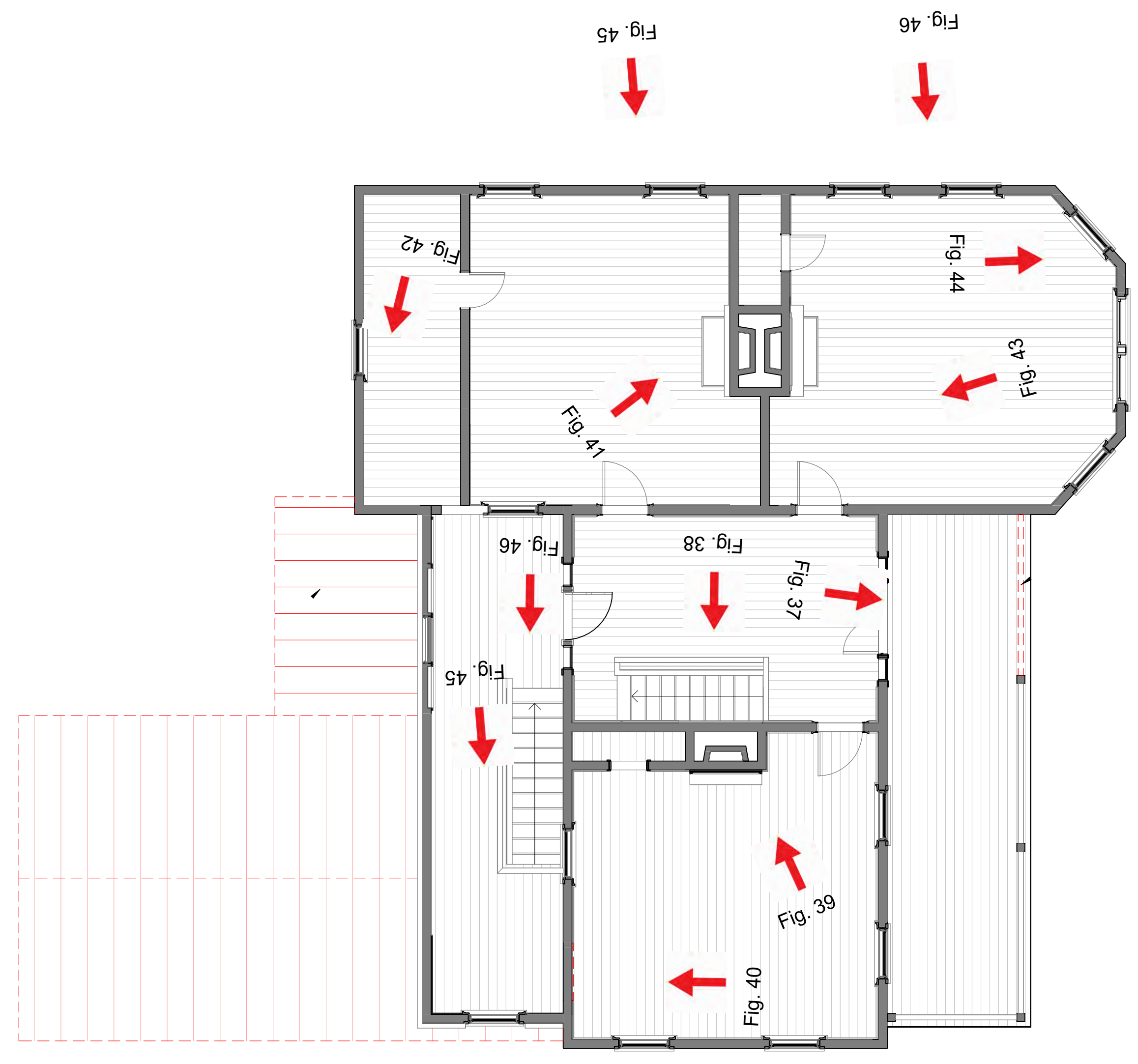
PHOTO KEY PLAN
HPCA PART 1
CRAWLSPACE

MEADORS
SINCE 1984
2811 AZALEA DRIVE ■ CHARLESTON, ■ 843.723.8585

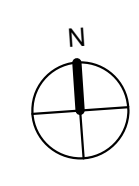


② 1ST FLR PHOTO KEY PLAN
3/16" = 1'-0"





① 2ND FLR PHOTO KEY PLAN
3/16" = 1'-0"



EPPS-MCGILL FARMHOUSE
679 Eastland Ave
Kingstree, South Carolina 29556

Construction Documents
PHASE 1

PROJ. NO. 20-0087
ISSUE DATE: 05/22/17

REVISIONS		
#	DATE	NOTES

PHOTO KEY PLAN
HPCA PART 1
2ND FLR PLAN

Epps-McGill Farmhouse

Kingstree, Williamsburg County, SC

Legend


 Property Boundary





Figure 1: Epps-McGill Farmhouse: East Elevation from Eastland Avenue (Kalen McNabb 2020).



Figure 2: Epps-McGill Farmhouse: East Elevation and Front Yard (Kalen McNabb 2020).





Figure 3: Epps-McGill Farmhouse: Southeast Corner (Kalen McNabb 2020).



Figure 4: Epps-McGill Farmhouse: South Elevation and Attached One-Story Kitchen Building (Kalen McNabb 2020).





Figure 5: Epps-McGill Farmhouse: West Elevation of Kitchen Building (Kalen McNabb 2020).



Figure 6: Epps-McGill Farmhouse: West Elevation (Kalen McNabb 2020).





Figure 7: Epps-McGill Farmhouse: Northwest Corner (Kalen McNabb 2020).



Figure 8: Epps-McGill Farmhouse: North Elevation (Kalen McNabb 2020).





Figure 9: Epps-McGill Farmhouse: Northeast Corner.



Figure 10: Epps-McGill Farmhouse: East Facade and Porches (Kalen McNabb 2020).





Figure 11: Epps-McGill Farmhouse: Detail of Folk Victorian Diamond Attic Vent and Pendants (Kalen McNabb 2020).



Figure 12: Epps-McGill Farmhouse, South Elevation: Detail of Front Porches and Side Gable (Kalen McNabb 2020).





Figure 13: Epps-McGill Farmhouse: Detail of Roof and Chimneys (Kalen McNabb 2020).



Figure 14: Epps-McGill Farmhouse: Detail of Front Door (Kalen McNabb 2020).





Figure 15: Epps-McGill Farmhouse: Detail of Two-Story East Porch (Kalen McNabb 2020).



Figure 16: Epps-McGill Farmhouse: Detail of Front Doors (Kalen McNabb 2020).





Figure 17: Epps-McGill Farmhouse: Overview of Crawlspace and Joists (Kalen McNabb 2020).



Figure 18: Epps-McGill Farmhouse, Crawlspace: Detail of Chimney Foundations (Kalen McNabb 2020).





Figure 19: Epps-McGill Farmhouse: Overview of Attic and Framing (Mike Hance 2021).



Figure 20: Epps-McGill Farmhouse, South Elevation: Detail of Roof Framing (Mike Hance 2021).





Figure 21: Epps-McGill Farmhouse: Front Entryway and Stair - Room 101 (Kalen McNabb 2020).



Figure 22: Epps-McGill Farmhouse: Detail of Newel Post in Room 101 (Kalen McNabb 2020).





Figure 23: Epps-McGill Farmhouse, Room 101: First-Floor Stair Hall Looking West (Kalen McNabb 2020).



Figure 24: Epps-McGill Farmhouse, Room 103: First-Floor Northwest Bedroom (Kalen McNabb 2020).





Figure 25: Epps-McGill Farmhouse, Room 107: First-Floor Stair Hall and Back Enclosed Porch Staircase Looking North (Kalen McNabb 2020).



Figure 26: Epps-McGill Farmhouse, Room 107: Detail of West Enclosed Stair Looking South (Kalen McNabb 2020).





Figure 27: Epps-McGill Farmhouse, Room 106: First-Floor South Living Room (Kalen McNabb 2020).



Figure 28: Epps-McGill Farmhouse, Room 106: Detail of Cabinetry in First-Floor South Living Room (Kalen McNabb 2020).





Figure 29: Epps-McGill Farmhouse, Room 102: East First-Floor Living and Bedroom Looking West (Kalen McNabb 2020).



Figure 30: Epps-McGill Farmhouse, Room 102: East First-Floor Living and Bedroom Looking at Bay Window (Kalen McNabb 2020).





Figure 31: Epps-McGill Farmhouse, Room 103: View of First Floor Northwest Bedroom (Kalen McNabb 2020).



Figure 32: Epps-McGill Farmhouse, Room 103: View of Fireplace and Mantel Looking East (Kalen McNabb 2020).





Figure 33: Epps-McGill Farmhouse, Room 110: View of Kitchen Looking South to Pantry (Kalen McNabb 2020).



Figure 34: Epps-McGill Farmhouse, Room 110: Kitchen Looking East (Kalen McNabb 2020).





Figure 35: Epps-McGill Farmhouse, Room 110: Detail of Historic Farm Equipment Stored in the Kitchen (Kalen McNabb 2020).



Figure 36: Epps-McGill Farmhouse, Room 110: Detail of modern finishes within the kitchen (Kalen McNabb 2020).





Figure 37: Epps-McGill Farmhouse, Room 201: Second-Floor Stair Hall Looking East (Kalen McNabb 2020).



Figure 38: Epps-McGill Farmhouse, Room 201: Second-Floor Stair Hall Looking Southwest (Kalen McNabb 2020).





Figure 39: Epps-McGill Farmhouse, Room 206: Second-Floor South Bedroom Looking North (Kalen McNabb 2020).



Figure 40: Epps-McGill Farmhouse, Room 206: Second-Floor South Bedroom Looking Southwest (Kalen McNabb 2020).





Figure 41: Epps-McGill Farmhouse, Room 204: Second-Floor Northwest Bedroom (Kalen McNabb 2020).



Figure 42: Epps-McGill Farmhouse, Room 205: Detail of Closet off of Northwest Bedroom (Kalen McNabb 2020).





Figure 43: Epps-McGill Farmhouse, Room 202: Second-Floor Northeast Bedroom Looking West (Kalen McNabb 2020).



Figure 44: Epps-McGill Farmhouse, Room 202: Second-Floor Northeast Bedroom Looking East (Kalen McNabb 2020).





Figure 45: Epps-McGill Farmhouse, Room 208: Second-Floor Enclosed Porch Looking South (Kalen McNabb 2020).



Figure 46: Epps-McGill Farmhouse, Room 208: Second-Floor Enclosed Porch Looking Down to First Floor (Kalen McNabb 2020).





HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number

1. Historic Property Name Epps-McGill Farmhouse

Street 679 Eastland Avenue

City Kingstree County Williamsburg State SC Zip 29556

Name of Historic District or National Register property _____

Listed individually in the National Register of Historic Places; date of listing 9/25/2020

Located in a Registered Historic District; name of district _____

Part 1 – Evaluation of Significance submitted? Date submitted _____ Date of certification _____

2. Project Data (for phased projects, data entered in this section must be totals for entire project)

Date of building 1905 Estimated total rehabilitation costs (QRE) \$425,000

Number of buildings in project 1 Floor area before / after rehabilitation 3,054 / 3,054 sq ft

Start date (estimated) 01/01/2022 Use(s) before / after rehabilitation Vacant / Inn/B&B

Completion date (estimated) 01/01/2027 Number of housing units before / after rehabilitation 1 / 1

Application includes phase(s) 2 of 2 phases Number of low-moderate income housing units before / after rehabilitation 0 / 0

Intend to elect IRS 60-month phased rehabilitation

3. Project Contact (if different from applicant)

Name Kalen McNabb Company Meadors, Inc.

Street P.O. Box 21758 City Charleston State SC

Zip 29405 Telephone (843) 509-8170 Email Address kalen@meadorsinc.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or

if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name _____ Signature (Sign in ink) _____ Date _____

Applicant Entity McGill Place Veggies LLC SSN _____ or TIN _____

Street 679 Eastland Avenue City Kingstree State SC

Zip 29556 Telephone (843) 354-6892 Email Address lilliemcgill@gmail.com

Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:

the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.

the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.

the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

Date _____ National Park Service Authorized Signature (Sign in ink) _____

NPS conditions or comments attached

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Historic Property Name Epps-McGill Farmhouse NPS Project Number _____

Property Address 679 Eastland Avenue, Kingstree, SC

5. Detailed Description of Rehabilitation Work. Use this page to describe all work or create a comparable format with this information.
Number items consecutively to describe all work, including building exterior and interior, additions, site work, landscaping, and new construction.

Number 1.	Feature PHASE 1 - Foundation Masonry	Date of Feature ca. 1905
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Describe existing feature and its condition

The foundation features brick masonry piers that support the first floor framing members. The piers have extensive mortar loss and brick spalling. Inappropriate and loose dry stacked CMU piers are present at select areas in the crawlspace. The fireplace foundations are also deteriorated and the northern chimney foundation has a large vertical crack within the brick.

Photo Numbers Figures 01-06 Drawing Numbers S-1, S-7

Describe work to feature

The goal of PHASE 1 is to make the house structurally sound and weathertight. Deteriorated mortar will be removed and repointed with a compatible Natural Hydraulic Lime (NHL 3.5) mortar mixture. Spalled masonry will be replaced in-kind with masonry of the same size, shape, and era of production. Inappropriate repairs will be replaced with new CMU piers with an isolated footing per the structural engineering drawings. The fireplace foundations will also be repaired using compatible NHL 3.5 mortar and reclaimed masonry. The foundation crack will be stabilized with grout and repointed.

Number 2.	Feature PHASE 1 - Structural Framing	Date of Feature ca. 1905
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Describe existing feature and its condition

The first floor framing is undersized and over-spanned. Deflection is visible within select joists and girders. Termite damage is also present at the northwest corner which has caused settlement in this wall. Select historic girders are under-supported beneath the kitchen and north chimney. The historic 2x10 joists are in fair condition with select isolated joists requiring replacement or extensive repair. The framing beneath the existing bathrooms at the northwest corner are deteriorated from water intrusion and are not structurally sound.

Photo Numbers Figures 07-12 Drawing Numbers S-2, S-3

Describe work to feature

New drop girders ((3) 2x8 SYP #2 Pressure treated) will be installed beneath the original joists mid span as noted in the structural engineering plans. All historic framing will be preserved and remain in place. New reinforced 8x16 CMU piers with a reinforced spot footing will be constructed to support the new drop girders and historic girders where noted on the engineering drawings. New floor 2x10 joists will be installed at the northwest corner to structurally support the bathrooms. New joists will match the historic members in size and shape.

Number 3	Feature PHASE 1 - Porches	Date of Feature ca. 1905
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Describe existing feature and its condition

The northern column and railing on the second floor is deteriorated. The square column have chamfered edges. The balusters are simple and contains square posts with a top and bottom rail.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Historic Property Name Epps-McGill Farmhouse NPS Project Number _____

Property Address 679 Eastland Avenue, Kingstree, SC

Photo Numbers Figures 13-16 Drawing Numbers S-2, S-3

Describe work to feature

The deteriorated wooden column and railing will be replaced in-kind with new material matching size, dimensions, and style of the existing historic material. The restored porch will be primed and painted with a high quality vapor permeable exterior acrylic coating (Benjamin Moore Aura Exterior - Semi gloss) appropriate for wood substrates.

Number 4	Feature PHASE 1 - Exterior Cornice	Date of Feature ca. 1905
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Describe existing feature and its condition

The exterior cornice and trim have extensive paint failure and select areas of deterioration. Select boards are missing or are pulling away from the building. The cornice is heavily deteriorated on the the west facade porch enclosure.

Photo Numbers Figures 17-20 Drawing Numbers A201.1

Describe work to feature

In combination with roof and flashing replacement, the exterior cornice will be restored in-kind. The failing exterior paint will be removed by the gentlest means possible. Any deteriorated cornice elements will be replaced in-kind using material of the same, size, and dimensions. Any missing decorative cornice elements and trim will be restored. The restored wood cornice will be primed and painted with high quality vapor permeable acrylic coating (BM Aura Exterior - Semi gloss) appropriate for wood substrates. The exterior siding will be retained and stabilized in their current configuration until Phase 2.

Number 5	Feature PHASE 1- Roof and Drainage	Date of Feature Various
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Describe existing feature and its condition

The existing 5v metal roof has failed and no longer protects the structure. Select panels are missing and the remaining panels have extensive corrosion. The underlying original wood shake roof has become exposed and is also deteriorated and at the end of its useful service life. The building currently does not have any gutters. Chimneys are present on the roofs and require repointing and additional flashing repair.

Photo Numbers Figures 21-26 Drawing Numbers A501.1 to A502.1

Describe work to feature

A new 24 gauge sheet 1" mechanical lock standing seam galvalume roof will be installed to preserve the historic building and make it weathertight. The panels will be 18" wide. New metal flashing will be installed at all wall to roof transitions. A new french drain will be installed around the perimeter of the building to promote drainage away from the building. Preparations will be made in the new roof to accommodate plumbing vents which will be installed in Phase 2. All masonry chimneys will be repointed with a compatible NHL 3.5 mortar.

Number 6	Feature PHASE 1 - Attic & Roof Framing	Date of Feature ca. 1905
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HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION

Historic Property Name Epps-McGill Farmhouse NPS Project Number _____

Property Address 679 Eastland Avenue, Kingstree, SC

Describe existing feature and its condition

Despite the exterior condition of the building, the attic is in fair condition but requires additional support. The second floor ceiling joists are over-spanned and under-framed. The beadboard and drywall ceilings have failed due to deflection of the ceiling above. The existing ceiling joists are in good condition with localized areas of damage. The rafters are overspanned and are deflecting.

Photo Numbers Figures 27-32 Drawing Numbers S-5 to S-7

Describe work to feature

2 LVL beams will be installed above the existing ceiling joists in each bedroom and hallway. The beams will consist of (2) 1.75" x 9.25" 2.0E LVL beams joined together. The historic rafters will be braced at midspan with a purlin brace to the new ceiling beam. Deteriorated ceiling joists will be sistered in-kind with a new 2x6 joist. Hurricane straps will be installed at each rafter to ceiling joist connection. New 2x6 collar ties will be installed at the upper third portion of the rafter.

Number N/A	Feature N/A	Date of Feature N/A
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Describe existing feature and its condition

Area left blank to separate phases

Photo Numbers N/A Drawing Numbers N/A

Describe work to feature

Area left blank to separate phases

Number 7	Feature PHASE 2 - Exterior Walls	Date of Feature ca. 1905 to modern
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Describe existing feature and its condition

The historic exterior wood clapboard siding and trim is deteriorated at select areas throughout the exterior of the building due to water intrusion and termite activity. There is extensive paint failure on all wooden exterior elements. The siding on the west side of the building has been replaced with modern wood vertical paneling and vertical metal roof panels. Existing jalousie windows on the second floor of the west elevation (porch infill) have been covered with modern vertical siding

Photo Numbers Figures 33-38 Drawing Numbers A201.2-A202.2

Describe work to feature

The failing exterior paint will be removed by the gentlest means possible using hand tools and putty knives. No machine powered paint removal methods will be used.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 2 – DESCRIPTION OF REHABILITATION**

Historic Property Name Epps-McGill Farmhouse NPS Project Number _____

Property Address 679 Eastland Avenue, Kingstree, SC

Biodegradable Smart Strip Pro may be used in areas where hand scraping is insufficient. The existing historic siding will be repaired and reused where possible. Completely deteriorated siding will be replaced with new treated siding of similar size, shape, and dimension. Inappropriate siding will be replaced with traditional wood siding matching the existing clapboards. The exterior siding will be primed and repainted using a high quality vapor permeable coating appropriate for historic wood substrates (BM Aura Exterior - Semi gloss).

Number 8	Feature PHASE 2 - Windows & Doors	Date of Feature ca. 1905 - modern
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Describe existing feature and its condition

The house contains a mixture of 6-lite and 2-lite wood double hung windows. The historic windows are intact but have localized areas of rot, muntin loss, and glazing failure. There is extensive paint failure throughout the windows. Many of the historic sashes have been replaced haphazardly with inappropriately sized windows. Plywood infill is also present in select openings where the windows were inappropriately replaced. The historic porch doors are deteriorated at the bottom and are missing glass in the sidelights. There is minor damage on the interior doors and several do not function appropriately. Mid-century jalousie windows on the 2nd floor south elevation are in place but several of the openings covered by modern siding.

Photo Numbers Figures 39-52 Drawing Numbers A201.2-A202.2

Describe work to feature

All the windows within the building will be rehabilitated and restored to fully operable condition in the original 6/6 configuration. Areas of deterioration beyond repair will be replaced with material of the same type (species), size, and dimension. Sapele may be used in place of reclaimed heart pine in select locations such as wood sill repairs (where needed). All broken glass will be replaced with new restoration glass matching the existing historic material. The windows will be reglazed and the door sidelights will be repaired. Missing windows will be reinstalled with wood double hung sashes matching the historic extant windows. All the interior doors will be restored to operable condition. Inappropriate plywood infill will be removed. Missing wood doors in Room 110 (Kitchen) and Room 206 and will be recreated to match the existing interior doors. All wooden elements will be repainted (BM- Aura Semi gloss).

Number 9	Feature PHASE 2 - West Porch & ADA Ramp	Date of Feature Modern
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Describe existing feature and its condition

The existing modern wood exterior stairs on the back east elevation are deteriorated, lack railings, and require replacement. The side south stairs are also deteriorated. The structure lacks appropriate ADA access as all entrances have contain several steps.

Photo Numbers Figures 53-56 Drawing Numbers A202.2

Describe work to feature

New brick masonry piers will be installed to support a new rear porch. The back deck will be constructed with 2x8 SYP pressure treated joists. The porch will be constructed in the same style as the front entry. A new stair will be installed off the back door and an ADA ramp will be constructed to wrap around the southwest corner of the house to the new deck. The ramp location will preserve the configuration and appearance of front facade

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and porches while providing an accessible route to the building from the parking lot.

Number 10	Feature PHASE 2 - South Side Stairs	Date of Feature Modern
------------------	--	-------------------------------

Describe existing feature and its condition

The south side stairs are at the location of the enclosed west porch and adjacent to the kitchen building. The entrance has been infilled with a modern door and plywood paneling. Family stories indicate that the entrance once looked like the front entrance with sidelights and a transom. The stairs to the door are modern and are inappropriate.

Photo Numbers Figures 57-58 Drawing Numbers A202.2

Describe work to feature

The side porch entrance will be constructed in the style of the front entrance with a single four panel solid wood door and sidelights and a transom. The design is based upon existing evidence and memories of the McGill family. A new wood stair will be constructed to access the opening. Exterior sconces will be added on either side of the entryway. A new sidewalk will lead from the proposed parking area to this new side entryway.

Number 11	Feature PHASE 2 - Electrical & Plumbing	Date of Feature Modern
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Describe existing feature and its condition

New wiring is needed to install additional light fixtures and new switches. It is anticipated that additional wiring and plumbing deficiencies will be uncovered during construction. Additional plumbing is needed to accommodate the planned bathroom modifications.

Photo Numbers Figures 59-60 Drawing Numbers A111.2-A112.2, A400.2

Describe work to feature

Uncovered and unsafe wiring uncovered during construction will be replaced with new wiring to meet the current building codes. Deteriorated plumbing lines will be removed and replaced with modern plumbing. New plumbing and modern wiring will be installed in a manner as to not disrupt or alter the historic fabric of the structure but will updated to modern codes. A new sewer line will also be installed from the building to the street. The roof plumbing chases installed in Phase 1 will be connected and made functional.

Number 12	Feature PHASE 2 - Interior Bathrooms	Date of Feature Modern
------------------	---	-------------------------------

Describe existing feature and its condition

The current structure contains one full and one half non functioning bathroom on the first floor at the northwest corner. As discussed in Phase 1, significant structural repair work is required in this area due to joist failure and deterioration. No bathrooms are located upstairs. A large space which may have been a closet is located above the bathrooms on the second-floor but does not appear to have ever had plumbing installed.

Photo Numbers Figures 61-66 Drawing Numbers A111.2-A112.2, A400.2

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Describe work to feature

The existing first floors bathrooms (105, 109) will be renovated following the Phase 1 structural repairs. One bathroom (105) will be ADA accessible. Three bathrooms will be created within secondary spaces on the second-floor. Two new additional bathrooms (205, 210) will be installed in the same area on the second-floor. A portion of the bathroom 210 will extend onto the existing southern porch infill. An additional bathroom (209) will be added to bedroom 206 onto the other side of the porch infill and will use an existing opening. Matching beadboard and a door will be installed on the porch side of this wall. Select and isolated removal of the walls will be required to accommodate the bathrooms on this floor. The vaulted porch ceiling, staircase, and baluster will be preserved in the bathroom. All bathrooms will have new wood doors matching the style of the existing historic bedroom and closet doors.

Number 13	Feature PHASE 02 - Kitchen	Date of Feature ca. 1905 to modern
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Describe existing feature and its condition

The existing kitchen is modern but does not currently function. The space consists of a large room and a separate pantry on the west side of the one-story kitchen building.

Photo Numbers Figures 67-68 Drawing Numbers _____

Describe work to feature

A new kitchen will be installed in the same area as the existing kitchen. A pantry on the west end of the kitchen building will be removed for a larger space to support a bed and breakfast kitchen. All artifacts stored in the kitchen will be preserved for future display.

Number 14.	Feature PHASE 2 - Non-Historic Finishes	Date of Feature Various (modern)
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Describe existing feature and its condition

The existing non-historic interior finishes are outdated and damaged. The interior needs to be repainted. Non-historic drywall and paneling on the interior of the building is present throughout much of the first floor and obscures the historic finishes. The linoleum and tile within the bathrooms are outdated. Carpet covers the original floors in several rooms.

Photo Numbers HPCA Part 1 Photos Drawing Numbers _____

Describe work to feature

New decorative finishes will be installed on the interior of the building. New tile will be installed within the bathrooms in place of the outdated linoleum. The underlying historic wood flooring will be restored. Missing or damaged drywall will be replaced with new drywall. All historic finishes will be primed and repainted using appropriate high quality vapor permeable interior coatings (BM Aura Interior, varying sheens).

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Number 15	Feature PHASE 2 - Historic Finishes (Int)	Date of Feature ca. 1905
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Describe existing feature and its condition

A variety of historic original interior finishes remain within the house including plaster, baseboards, wainscoting, wood picture rails, railings, and beadboard. It is anticipated additional finishes may be uncovered with the non historic wall paneling is removed. Paint failure is present on many of the interior finishes. The original mantles remain except for Room 106. The firebox and mantel in Room 106 are modern brick with a wood stove.

Photo Numbers Figures 69-82 Drawing Numbers A801-A808

Describe work to feature

All historic finishes will be preserved where possible within the main central spaces. All historic wood wall and door trim will be retained and refinished. Trim beyond repair will be re-milled. Beadboard wainscoting and the cabinetry within Room A802 will be refinished. Damage to extant plaster will be repaired using lime based plaster. Rooms with deteriorated drywall will be restored using drywall. All historic mantels will be refinished and preserved in their current (original) locations.

Number 16	Feature PHASE 2 - Historic Flooring	Date of Feature 1905
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Describe existing feature and its condition

The original pine flooring is extant throughout many of the rooms within the building. The floor is covered with modern carpet or lineoleum in several spaces. The floor is deteriorated in several rooms due to water intrusion, animal and insect activity, and general wear and tear. Inappropriate repairs and flooring material are visible throughout the house.

Photo Numbers Figures 69-82 Drawing Numbers _____

Describe work to feature

The historic interior wood floors will be lightly screened to remove the existing painted finish and to prevent over-sanding of the original wood. Areas require repair will be replaced in-kind with tongue and groove wood of similar size, color, and appearance. A new finish will be applied to the wood floors.

Number 17	Feature PHASE 2 - Fireboxes & Flues	Date of Feature 1905
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Describe existing feature and its condition

Historic mantels remain on all fireplaces except in Room 106. The fireboxes on the first floor have all been enclosed for wood stoves and oil heaters. The upstairs fireboxes are open but have extensive mortar failure and require repointing.

Photo Numbers Figures 83-88 Drawing Numbers _____

Describe work to feature

The historic fireboxes will be reopened and preserved. The firebox in Room 106 will be

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restored back to the original configuration but the brick mantel will be retained. The chimney flues will be relined and repointed using a NHL 3.5 mortar.

Number 18	Feature PHASE 2 - HVAC	Date of Feature 2021
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Describe existing feature and its condition

The house lacks an HVAC system and ductwork has never been installed in the building. The buildings has been heated by the fireplaces and coal and oil stoves.

Photo Numbers N/A Drawing Numbers E101.2

Describe work to feature

In order to avoid installing incongruous ductwork within the historic house, mini-splits will be added within each bedroom to efficiently cool the interior. Final installation location of the mini splits in each room will be determined prior to Phase 2. Ceiling fans will be installed in the bedrooms to also cool the spaces.

Number 19	Feature PHASE 2 - Site Improvements	Date of Feature 2021
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Describe existing feature and its condition

Large grand oak trees are located on the front yard. A small driveway is present to the south of the house.

Photo Numbers Figures 83-86 Drawing Numbers A110.2

Describe work to feature

Mulch and low density landscaping will be planted around the building. All grand oak trees will be preserved and will be assessed by an arborist. A new driveway will be installed at the existing driveway curb cut. The new driveway will add additional parking (6 spaces) and will create a small driveway loop at the southwest corner of the property. New sidewalks will lead to the ADA ramp, side entrance, and front porch.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
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NOTICES

Privacy Act Statement

Authority: 26 U.S. Code § 47 - Rehabilitation credit; 26 U.S. Code § 170 - Charitable, etc., contributions and gifts.

Purpose: To enable the Secretary of the Interior to evaluate the historic significance of structures and whether the rehabilitation of such structures preserves their historic character. The primary use of this information by the Secretary of the Interior will be to certify to the Secretary of the Treasury that the applicant is eligible for Federal tax incentives for historic preservation. This application is used by the Internal Revenue Service to confirm that applicants for the tax incentives have obtained the certification concerning historic structures and historic rehabilitations that are required by law.

Routine uses: The information will be used by the National Park Service and the State Historic Preservation Offices and disclosed to the Internal Revenue Service to determine if the applicant is eligible for Federal tax incentives.

Disclosure: Voluntary, however, failure to provide the requested information may prevent or impede you from receiving consideration for the requested benefit.

Information Regarding Disclosure of Your Social Security Number Under Public Law 93-579 Section 7(b):

Your Social Security Number (SSN) is needed to identify records unique to you. Applicants are required to provide their social security or taxpayer identification number for activities subject to collection of fees and charges by the National Park Service. Failure to disclose your SSN may prevent or delay the processing of your application. The authority for soliciting your SSN is 31 U.S.C. 7701. The information gathered through the use of the SSN will be used only as necessary for processing this application and collecting and reporting any delinquent financial obligations. Use of the SSN will be carried out in accordance with established regulations and published notices of system of records.

Paperwork Reduction Act Statement

We are collecting this information subject to the Paperwork Reduction Act (44 U.S.C. 3501) through the State Historic Preservation Officer in order to enable the Secretary of the Interior to gain the benefit of the State review of applications for Federal tax incentives for historic preservation by owners of historic properties. Information collected on this form, including names and all written comments, is subject to disclosure. All applicable parts of the form must be completed in order to receive consideration for the requested benefit. A Federal agency may not conduct or sponsor, and a person is not required to respond a collection of information unless it displays a currently valid OMB control number. OMB has approved this collection and assigned it control number 1024-0009.

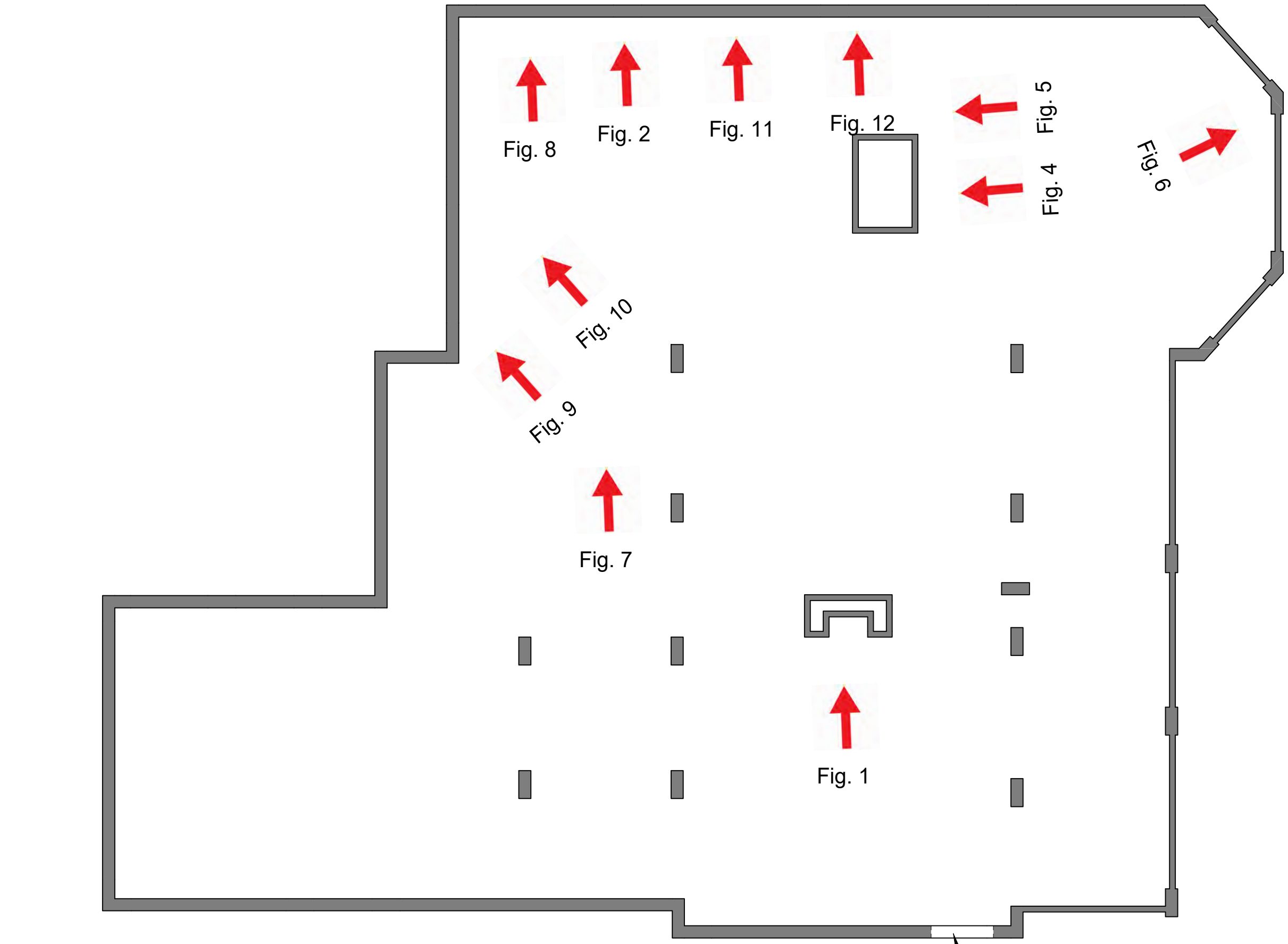
Estimated Burden Statement

Public reporting burden for this form is estimated to average 51 hours per response including the time it takes to read, gather and maintain data, review instructions and complete the form. Direct comments regarding these burden estimates, or any aspects of this form, to the Information Collection Clearance Officer, National Park Service, 12201 Sunrise Valley Drive, Mail Stop 242, Reston, VA 20192. Please do not send your form to this address.

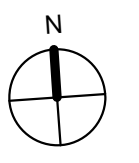
Records Retention Statement

Permanent. Transfer all permanent records to NARA 15 years after closure. (NPS Records Schedule, Resource Management and Lands (Item 1.A.2) (N1-79-08-1))

FOR APPLICANT RECORDS ONLY – THIS PAGE DOES NOT NEED TO BE PRINTED FOR APPLICATION



② CRAWLSPACE - PHOTO KEY PLAN
3/16" = 1'-0"



**EPPS-MCGILL
FARMHOUSE**
679 Eastland Ave
Kingstree, South Carolina 29556

Construction Documents
PHASE 1

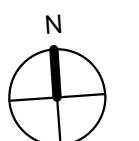
PROJ. NO. 20-0087
ISSUE DATE: 04/08/21

REVISIONS		
#	DATE	NOTES

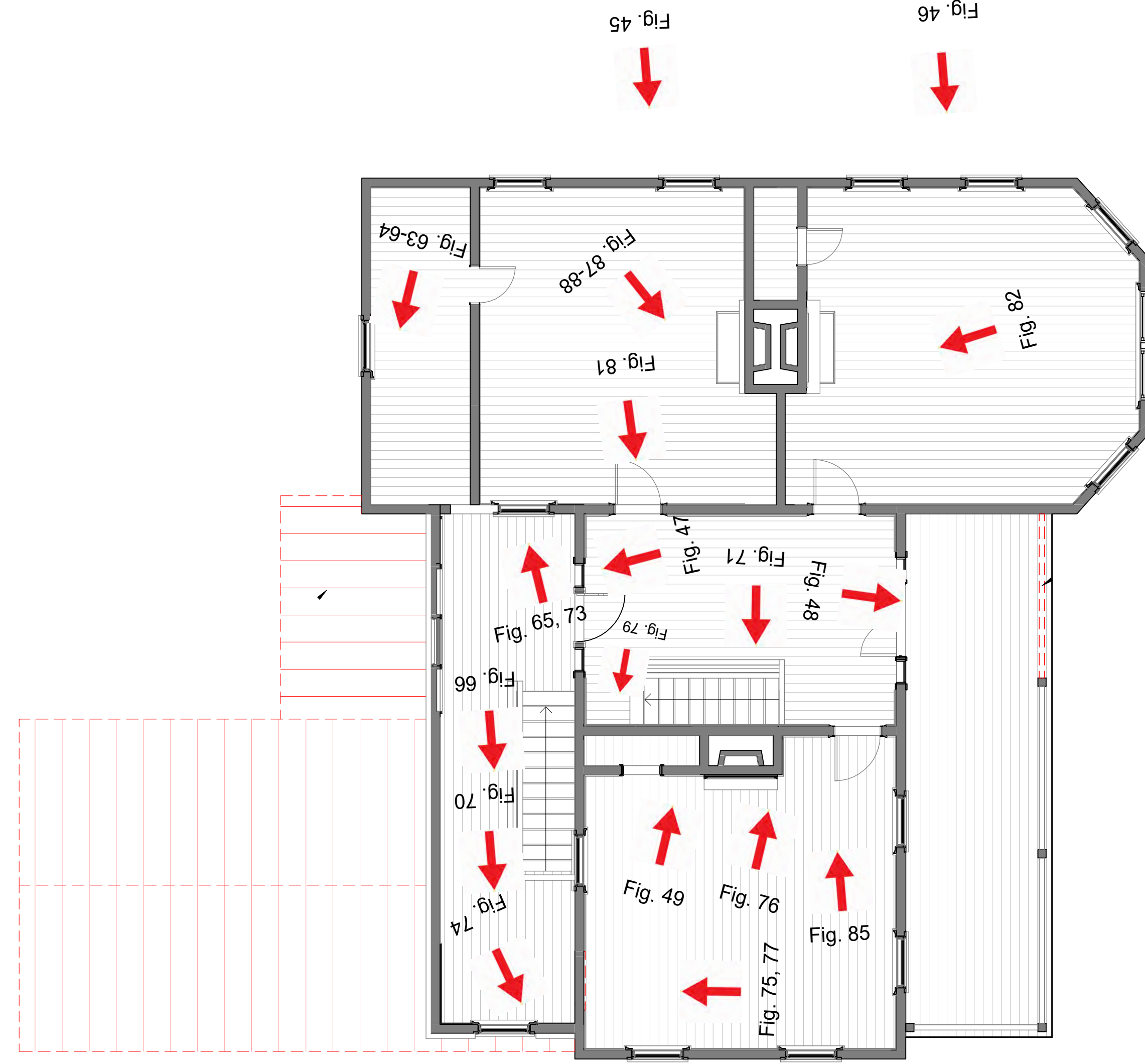
PHOTO KEY PLAN
HPCA PART 2
CRAWLSPACE



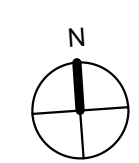
② -1ST FLR PHOTO KEY PLAN
3/16" = 1'-0"



#	DATE	NOTES
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① 2ND FLR PHOTO KEY PLAN
 3/16" = 1'-0"



EPPS-MCGILL FARMHOUSE
 679 Eastland Ave
 Kingstree, South Carolina 29556

Construction Documents
PHASE 1

PROJ. NO. 20-0087
 ISSUE DATE: 05/22/17

REVISIONS		
#	DATE	NOTES

PHOTO KEY PLAN
 HPCA PART 2
 2ND FLR PLAN

PHASE 01



Phase 01: Foundation Masonry





Figure 1: Epps-McGill Farmhouse - PHASE 01: Overview of the crawlspace (Kalen McNabb 2020).



Figure 2: Epps-McGill Farmhouse - PHASE 01: Detail of masonry deterioration and efflorescence (Kalen McNabb 2020).





Figure 3: Epps-McGill Farmhouse - PHASE 01: The north foundation chimney is cracked (Kalen McNabb 2020).



Figure 4: Epps-McGill Farmhouse - PHASE 01: Detail of crack in fireplace foundation (Kalen McNabb 2020).





Figure 5: Epps-McGill Farmhouse - PHASE 01: Select areas of the foundation require repointing (Kalen McNabb 2020).



Figure 6: Epps-McGill Farmhouse - PHASE 01: Detail of deteriorated foundation masonry (Kalen McNabb 2020).



PHASE 01: Structural Framing





Figure 7: Epps-McGill Farmhouse - PHASE 01: The historic joists are in good condition with isolated areas of failure requiring intervention (Kalen McNabb 2020).



Figure 8: Epps-McGill Farmhouse - PHASE 01: Detail of deterioration along the north wall (Kalen McNabb 2020).





Figure 9: Epps-McGill Farmhouse - PHASE 01: Detail of framing deterioration beneath the first-floor bathrooms (Kalen McNabb 2020).



Figure 10: Epps-McGill Farmhouse - PHASE 01: Detail of joist cracking and termite damage (Kalen McNabb 2020).





Figure 11: Epps-McGill Farmhouse - PHASE 01: Select girders are crushed and require repair (Kalen McNabb 2020).



Figure 12: Epps-McGill Farmhouse - PHASE 01: Detail of deterioration within the north girder (Kalen McNabb 2020).



PHASE 01: Porches





Figure 13: Epps-McGill Farmhouse - PHASE 01: The historic front porch will be preserved (Kalen McNabb 2020).



Figure 14: Epps-McGill Farmhouse - PHASE 01: The sound historic elements will be repainted using a coating appropriate for historic pine (Kalen McNabb 2020).





Figure 15: Epps-McGill Farmhouse - PHASE 01: Detail of Porch Railing Failure (Kalen McNabb 2020).



Figure 16: Epps-McGill Farmhouse - PHASE 01: This column and balustrade will be replaced in-kind during Phase 01 due to advanced deterioration (Kalen McNabb 2020).



PHASE 01: Exterior Cornice





Figure 17: Epps-McGill Farmhouse - PHASE 01: The cornice has localized areas of wood deterioration and extensive paint loss on all cornice elements (Kalen McNabb 2020).



Figure 18: Epps-McGill Farmhouse - PHASE 01: Overview of cornice deterioration (Kalen McNabb 2020).





Figure 19: Epps-McGill Farmhouse - PHASE 01: Detail of cornice paint failure on the front facade (Kalen McNabb 2020).



Figure 20: Epps-McGill Farmhouse - PHASE 01: Detail of cornice failure (Kalen McNabb 2020).



PHASE 01: Roof & Drainage





Figure 21: Epps-McGill Farmhouse - PHASE 01: The existing 5V metal roof is heavily corroded and missing on 30-40% of the roof. (Kalen McNabb 2020).



Figure 22: Epps-McGill Farmhouse - PHASE 01: Many of the metal roofing panels are detaching (Kalen McNabb 2020).





Figure 23: Epps-McGill Farmhouse - PHASE 01: Roof from the southwest corner. The house lacks gutters and does not appear to have ever had gutters (Kalen McNabb 2020).



Figure 24: Epps-McGill Farmhouse - PHASE 01: The failure of the upper roof has exposed the underlying weathered wood shake roof. The house is no longer watertight (Kalen McNabb 2020).





Figure 25: Epps-McGill Farmhouse - PHASE 01: The chimneys are in fair condition but likely require repointing (Kalen McNabb 2020).



Figure 26: Epps-McGill Farmhouse - PHASE 01: Overview of chimneys viewed from the south (Kalen McNabb 2020).



PHASE 01: Attic and Roof Framing





Figure 27: Epps-McGill Farmhouse - PHASE 01: The attic framing is in fair condition but the wooden framing members are undersized and over-spanned (Kalen McNabb 2020).



Figure 28: Epps-McGill Farmhouse - PHASE 01: The rafters are deflecting and require additional support (Kalen McNabb 2020).





Figure 29: Epps-McGill Farmhouse - PHASE 01: Evidence of water intrusion is present on the historic sheathing (Kalen McNabb 2020).



Figure 30: Epps-McGill Farmhouse - PHASE 01: Detail of attic framing around the chimney (Kalen McNabb 2020).





Figure 31: Epps-McGill Farmhouse - PHASE 01: The ceiling joists are also over-spanned and undersized (Kalen McNabb 2020).

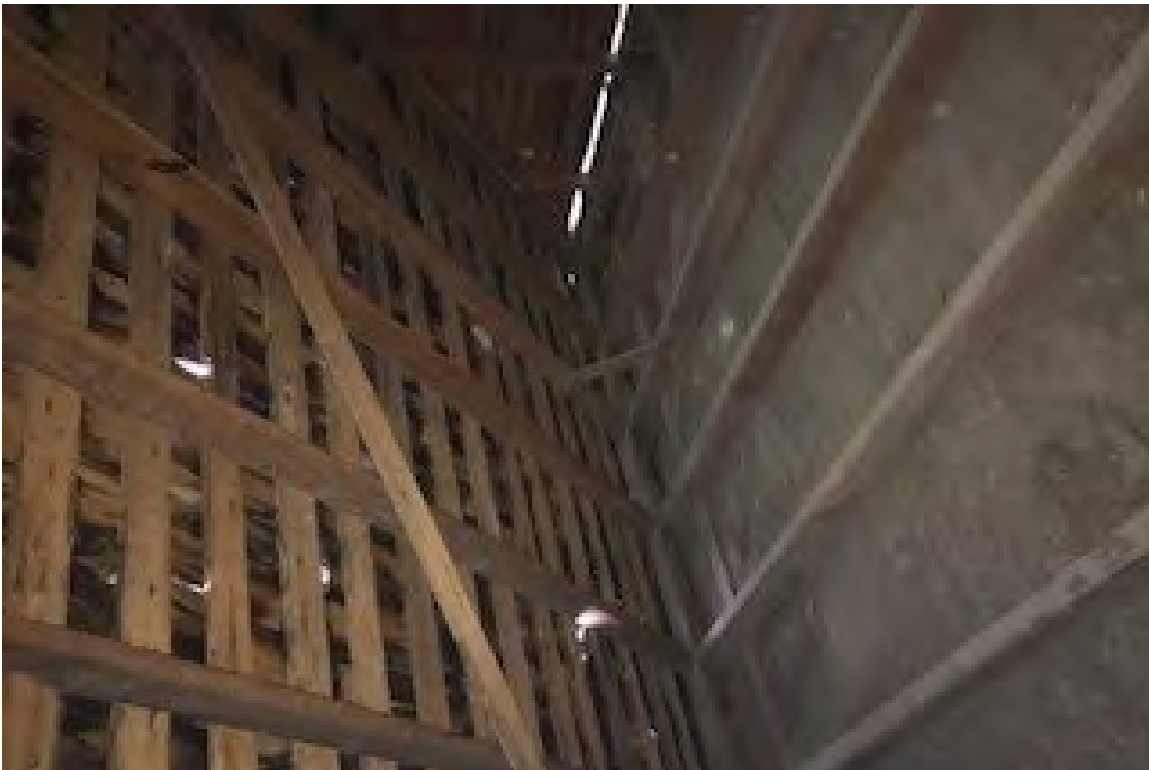


Figure 32: Epps-McGill Farmhouse - PHASE 01: View of ceiling joists and roof battens (Kalen McNabb 2020).



PHASE 02



PHASE 02: Exterior Walls





Figure 33: Epps-McGill Farmhouse - PHASE 02: The historic siding remains in place on 75% of the building and appears to be in fair condition (Kalen McNabb 2020).



Figure 34: Epps-McGill Farmhouse - PHASE 02: Overview of historic siding on the north elevation (Kalen McNabb 2020).





Figure 35: Epps-McGill Farmhouse - PHASE 02: Overview of the siding on the south elevation (Kalen McNabb 2020).



Figure 36: Epps-McGill Farmhouse - PHASE 02: Detail of the typical condition of the historic siding and trim (Kalen McNabb 2020).





Figure 37: Epps-McGill Farmhouse - PHASE 02: Overview of the mixture of siding materials on the west elevation (Kalen McNabb 2020).



Figure 38: Epps-McGill Farmhouse - PHASE 02: There is extensive paint failure on all the historic siding. Note the vinyl siding at right (Kalen McNabb 2020).



PHASE 02: Windows & Doors





Figure 39: Epps-McGill Farmhouse - PHASE 02: The front doors are in good condition but require restoration (Kalen McNabb 2020).



Figure 40: Epps-McGill Farmhouse - PHASE 02: The house contains a mixture of 1/1, 1/6, 6/1 and 6/6 lite double hung windows. All windows are in a state of disrepair. Physical evidence indicates the original configuration was likely 6/6 lite sashes (Kalen McNabb 2020).





Figure 41: Epps-McGill Farmhouse - PHASE 02: Inappropriate storm windows have also been installed over many of the windows (Kalen McNabb 2020).



Figure 42: Epps-McGill Farmhouse - PHASE 02: Inappropriate window replacement has reduced the size of several openings and plywood has been installed to close the gap. These openings will be restored (Kalen McNabb 2020).





Figure 43: Epps-McGill Farmhouse - PHASE 02: Detail of missing sashes on the west elevation in a historic opening (Kalen McNabb 2020).



Figure 44: Epps-McGill Farmhouse - PHASE 02: Detail of north kitchen window requiring repair (Kalen McNabb 2020).





Figure 45: Epps-McGill Farmhouse - PHASE 02: View of window deterioration and haphazard replacement (Kalen McNabb 2020).



Figure 46: Epps-McGill Farmhouse - PHASE 02: Detail of broken glass and modern sashes within the original opening. New 6/6 wood sashes will be installed in the openings where missing (Kalen McNabb 2020).





Figure 47: Epps-McGill Farmhouse - PHASE 02: View of original second-floor porch door (Kalen McNabb 2020).



Figure 48: Epps-McGill Farmhouse - PHASE 02: Second floor east porch doors are currently secured with plywood and is missing door hardware (Kalen McNabb 2020).





Figure 49: Epps-McGill Farmhouse - PHASE 02: View of typical five panel interior wood doors (Kalen McNabb 2020).



Figure 50: Epps-McGill Farmhouse - PHASE 02: First Floor West Porch Door (Kalen McNabb 2020).





Figure 51: Epps-McGill Farmhouse - PHASE 02: Detail of door hardware. All original door hardware will be preserved and repaired (Kalen McNabb 2020).



Figure 52: Epps-McGill Farmhouse - PHASE 02: Detail of door hinges. All hardware will be preserved (Kalen McNabb 2020).



PHASE 02: West Porch & ADA Ramp





Figure 53: Epps-McGill Farmhouse - PHASE 02: View of location for future deck and ADA access ramp (Kalen McNabb 2020).



Figure 54: Epps-McGill Farmhouse - PHASE 02: View of location of deck and ramp. The existing modern wood stair is deteriorated and lacks a railing (Kalen McNabb 2020).





Figure 55: Epps-McGill Farmhouse - PHASE 02: The proposed ramp will wrap around the one-story kitchen building (Kalen McNabb 2020).



Figure 56: Epps-McGill Farmhouse - PHASE 02: Detail of corner where ramp will be located (Kalen McNabb 2020).



PHASE 02: South Side Entrance Stairs





Figure 57: Epps-McGill Farmhouse - PHASE 02: View of side entrance that has been in-filled with modern materials (Kalen McNabb 2020).



Figure 58: Epps-McGill Farmhouse - PHASE 02: The new entrance and stair will be constructed in a similar style to the front entrance and will feature a paneled door with a transom and sidelights (Kalen McNabb 2020).



PHASE 02: Electrical and Plumbing





Figure 59: Epps-McGill Farmhouse - PHASE 02: Detail of leaking modern plumbing beneath the first-floor bathrooms (Kalen McNabb 2020).



Figure 60: Epps-McGill Farmhouse - PHASE 02: Outdated wiring and light fixtures are present throughout the house (Kalen McNabb 2020).



PHASE 02: Interior Bathrooms





Figure 61: Epps-McGill Farmhouse - PHASE 02: View of existing opening to be reused for the half bathroom Room 109. The window infill to remain (Kalen McNabb 2020).



Figure 62: Epps-McGill Farmhouse - PHASE 02: View of door of the existing bathroom which will become an ADA Bathroom (Room 105) (Kalen McNabb 2020).





Figure 63: Epps-McGill Farmhouse - PHASE 02: View of location of Bathroom 205 and a portion of Room 210. (Kalen McNabb 2020).



Figure 64: Epps-McGill Farmhouse - PHASE 02: The original window opening within this space will be restored and Room 205 will be constructed in this area (Kalen McNabb 2020).





Figure 65: Epps-McGill Farmhouse - PHASE 02: Location of the second-floor bathroom in Room 210. This original window opening will be modified for a doorway (Kalen McNabb 2020).



Figure 66: Epps-McGill Farmhouse - PHASE 02: Location of proposed bathroom for Room 206. The historic window will be retained. (Kalen McNabb 2020).



PHASE 02: Kitchen





Figure 67: Epps-McGill Farmhouse - PHASE 02: View of Modern Kitchen to Be Replaced (Kalen McNabb 2020).



Figure 68: Epps-McGill Farmhouse - PHASE 02: View of Modern Kitchen to Be Replaced (Kalen McNabb 2020).



PHASE 02: Historic Finishes





Figure 69: Epps-McGill Farmhouse - PHASE 02: Detail of the historic stair (Kalen McNabb 2020).



Figure 70: Epps-McGill Farmhouse - PHASE 02: View of extant beadboard. All historic woodwork will be preserved (Kalen McNabb 2020).





Figure 71: Epps-McGill Farmhouse - PHASE 02: View of historic balustrade (Kalen McNabb 2020).



Figure 72: Epps-McGill Farmhouse - PHASE 02: View of historic mantel within the front parlor. All historic mantels will be preserved (Kalen McNabb 2020).





Figure 73: Epps-McGill Farmhouse - PHASE 02: Extant siding will be preserved within the enclosed spaces (Kalen McNabb 2020).



Figure 74: Epps-McGill Farmhouse - PHASE 02: The vaulted enclosed porch ceiling will be preserved within the proposed bathroom (Kalen McNabb 2020).





Figure 75: Epps-McGill Farmhouse - PHASE 02: Damaged plaster will be repaired in-kind (Kalen McNabb 2020).



Figure 76: Epps-McGill Farmhouse - PHASE 02: View of extant flat plaster damage (Kalen McNabb 2020).





Figure 77: Epps-McGill Farmhouse - PHASE 02: View of historic wall finishes in a variety of conditions (Kalen McNabb 2020).



Figure 78: Epps-McGill Farmhouse - PHASE 02: View of modern ceiling finishes which are now failing (Kalen McNabb 2020).





Figure 79: Epps-McGill Farmhouse - PHASE 02: View of second-floor beadboard wainscoting (Kalen McNabb 2020).



Figure 80: Epps-McGill Farmhouse - PHASE 02: Historic interior trim (Kalen McNabb 2020).





Figure 81: Epps-McGill Farmhouse - PHASE 02: The historic floors are in fair condition and will be preserved during this phase of work (Kalen McNabb 2020).



Figure 82: Epps-McGill Farmhouse - PHASE 02: The historic floors are present beneath existing carpet. The carpet will be removed and the underlying floor will be restored (Kalen McNabb 2020).



PHASE 02: Fireplaces & Fireboxes





Figure 83: Epps-McGill Farmhouse - PHASE 02: Enclosed firebox in Room 103. This opening and firebox will be preserved (Kalen McNabb 2020).



Figure 84: Epps-McGill Farmhouse - PHASE 02: View of firebox in Room 102. This firebox will be restored (Kalen McNabb 2020).





Figure 85: Epps-McGill Farmhouse - PHASE 02: Detail of firebox in Room 206 (Kalen McNabb 2020).



Figure 86: Epps-McGill Farmhouse - PHASE 02: Modified mantel in Room 105. This mantel will be restored back to the original configuration (Kalen McNabb 2020).





Figure 87: Epps-McGill Farmhouse - PHASE 02: View of firebox within Room 204 (Kalen McNabb 2020).



Figure 88: Epps-McGill Farmhouse - PHASE 02: View of condition of the firebox within Room 204 (Kalen McNabb 2020).



PHASE 02: Site work & Landscaping





Figure 89: Epps-McGill Farmhouse - PHASE 02: A new walk and parking lot will be installed in the area of the current dirt driveway (Kalen McNabb 2020).



Figure 90: Epps-McGill Farmhouse - PHASE 02: New sidewalks will extend to the front, back, and side entrances (Kalen McNabb 2020).





Figure 91: Epps-McGill Farmhouse - PHASE 02: Existing grand oaks will be preserved (Kalen McNabb 2020).



Figure 92: Epps-McGill Farmhouse - PHASE 02: Low Density and Low Height Landscaping will be installed around the building (Kalen McNabb 2020).





HISTORIC PRESERVATION CERTIFICATION APPLICATION AMENDMENT / ADVISORY DETERMINATION

Instructions: This page must bear the applicant's original signature and must be dated.

NPS Project Number

1. Historic Property Name Epps-McGill Farmhouse

Street 679 Eastland Avenue

City Kingstree County Williamsburg State SC Zip 29556

2. This form includes additional information requested by NPS for an application currently on hold.

updates applicant or contact information.

amends a previously submitted Part 1 Part 2 Part 3 application.

requests an advisory determination that the completed phase ___ of ___ phases of this rehabilitation meets the Secretary of the Interior's Standards for Rehabilitation. Phase completion date _____ Estimated rehabilitation costs of phase (QRE) _____

Summarize information here; continue on following page if necessary.

Please find attached a new set of updated drawings for the HPCA Part 2 Application. Please replace the previous set with this new drawing set. The following paragraphs address comments from the SC Dept of Archives & History dated 12/23/2021.

3. Project Contact (if different from applicant)

Name Kalen McNabb Company Meadors, Inc

Street P.O. Box 21758 City Charleston State SC

Zip 29413 Telephone (843) 509-8170 Email Address kalen@meadorsinc.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or

if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name _____ Signature (Sign in ink) _____ Date _____

Applicant Entity McGill Place Veggies LLC SSN _____ or TIN _____

Street 679 Eastland Avenue City Kingstree State SC

Zip 29556 Telephone (843) 354-6892 Email Address lilliemcgill@gmail.com

Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed this amendment to the Historic Preservation Certification Application and has determined that the amendment:

- meets the Secretary of the Interior's Standards for Rehabilitation.
- will meet the Secretary of the Interior's Standard for Rehabilitation if the attached conditions are met.
- does not meet the Secretary of the Interior's Standards for Rehabilitation.
- updates the information on file and does not affect the certification.

Advisory Determinations:

- The National Park Service has determined that the work completed in this phase is consistent with the Secretary of the Interior's Standards for Rehabilitation. This determination is advisory only. A formal certification of rehabilitation can be issued only after all rehabilitation work and any associated site work or new construction have been completed. This approval could be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. A copy of this form will be provided to the Internal Revenue Service.

Date

National Park Service Authorized Signature (Sign in ink)

NPS conditions or comments attached

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
AMENDMENT / ADVISORY DETERMINATION**

Historic Property Name Epps-McGill Farmhouse

NPS Project Number _____

Property Address 679 Eastland Avenue, Kingstree, SC

Roof

The original roof was a wood shake roof. Remnants of the roof are visible where the metal roof has failed. The original shakes are deteriorated and beyond their useful service life. This material has been preserved as it has been covered with the metal roof for most of the 20th century. The corrugated metal roof was added sometime prior to 1955 and has been the primary roof material for most of the building's history. The existing corrugated metal is deteriorated, and individual panels are missing. To recreate the style of the original shake roof while providing a durable weathertight roofing material, a synthetic shake roof will be installed on the building. The shakes are synthetic 22" cedar roofing shakes with a 7" width and a 10" exposure. The shakes are an alternative to natural wooden shakes and have a split wood texture. The roofing materials are made from recycled materials. They have a 50-year limited warranty and a Class 4 impact rating. The shakes will be in the "Aged" color. Please find attached the roof specifications and renderings.

Side Entry

The owner, Mrs. Lillie McGill, remembers an entryway at the side entrance that was identical to the front entrance. The entrance was removed during the 20th century. No other photographic evidence has been found of the original opening, but Mrs. McGill stated that the entryway was very similar to the front entrance. The side and back entryways have been redesigned to differentiate from the historic front porch doors. The new doors are compatible with historic openings in size and scale. Refer to page A202.2 for elevations of the proposed entryways.

Flooring

The historic hardwood is present throughout the house and is covered by modern linoleum and carpet. The historic wood floors have been painted in several rooms while other rooms have no floor finish. The painted finish on the floors does not appear to be original and was a mid-20th century alteration. The existing wood floors will be lightly screened to remove the weathered material and the painted finish. Excessive sanding and removal of the wood will be avoided. The floors will be sealed using a Bona DriFast Sealer and will be used to seal the floors in preparation for finish. Water-based Bona Traffic HD will be applied to the floors in a Satin finish.

MEP

The use of ductless mini-splits is preferred as it would avoid adding incongruous ductwork throughout the house. Mini-split ductless systems are preferred as the units require the least invasive installation and would limit modifying the extant historic material. Ceiling mounted consoles will be installed within the interior and will be concealed as much as possible as to avoid detracting from the historic interior. Individual units will be installed to be reversible for upgrades or modifications in the future. Each mini split will have the electric and thermostat wiring bundled together with the condensate and refrigerate line. The bundled line will run to a bank of units outside the house. The condenser units will be installed on the north side of the house and will be minimally visible and away from the main facades and pathways. Refer to Drawing E102.1-2 for proposed locations of the ductless units. The design and placement of the units will be installed to have a minimal footprint and prevent disrupting the historic fabric.

Plumbing

The additional plumbing introduced into the historic building will be sanitary and domestic plumbing. Older cast iron and PVC plumbing is present within the house on the first floor and requires replacement.



Figure 1: Epps-McGill Farmhouse - View of the Brava Cedar Shake in “Aged”.

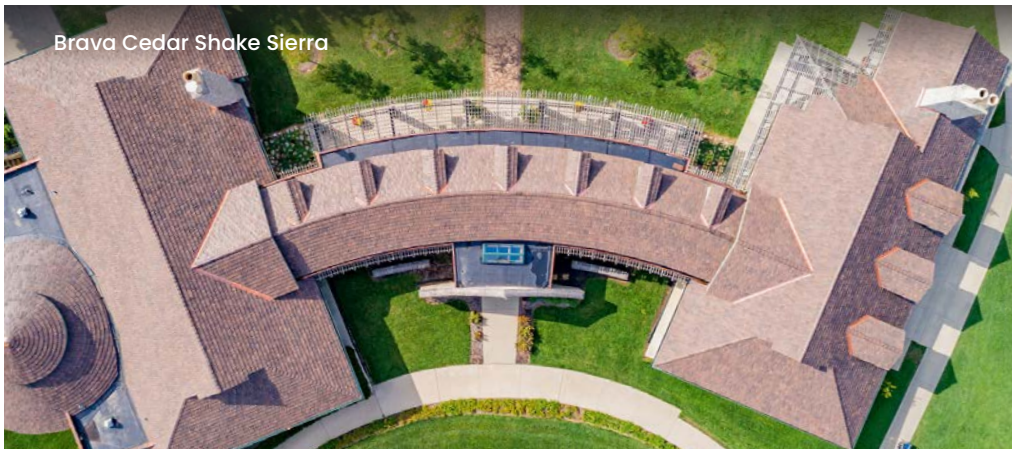


Figure 2: Epps-McGill Farmhouse - Rendering showing the “Aged” Brava Cedar Shake.





Brava Cedar Shake



Beautifully authentic high-performance roofing.

The beautiful look of a cedar shake roof without the maintenance.

Truly realistic

Our proprietary process creates the most authentic-looking cedar shake on the market.

Superior performance

Brava is designed to withstand even the most severe weather, boasting the highest hail resistance rating in the industry.

Enhanced curb appeal

Curb appeal directly correlates with owner satisfaction and higher property value.

Maintenance free

Brava's proprietary formulation ensures extreme durability.

Color technology

Brava's proprietary multi-coloring process means you get the authentic appearance of a natural product, complete with variegated colors throughout the entire product.

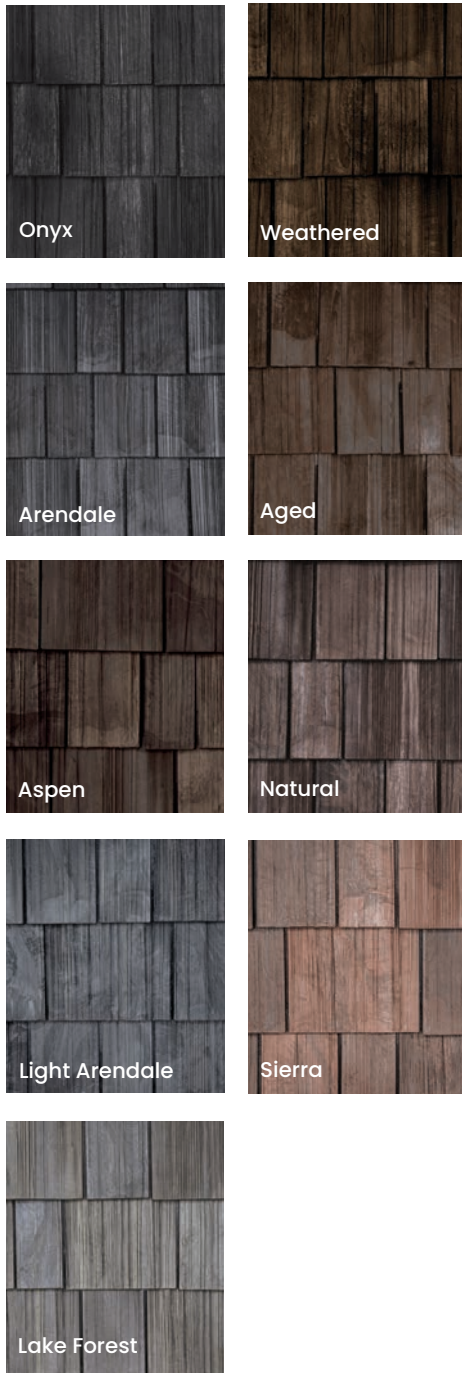
Fully sustainable

Brava uses recycled material to create a roof that is fully recyclable.

Complete

Brava offers a complete line of accessory tiles.

Unparalleled Performance



Description	Weight	Dimensions
Shake Field Tile 5"	1.5 lbs.	5" x 24"; 10" Exposure
Shake Field Tile 7"	1.8 lbs.	7" x 24"; 10" Exposure
Shake Field Tile 12"	3.0 lbs.	12" x 24"; 10" Exposure
Starter	2.0 lbs.	12" x 14"
Hip/Ridge	1.9 lbs.	5 3/8" x 6" x 14"
Solid Shake Accessory	4.8 lbs.	12" x 24"; 10" Exposure

Aesthetics	Brava Shake	Natural shake
Authentic Look	✓	✓
5/8" to 1" Thickness	✓	Varies by manufacturer
Hand Split - True-to-Life Texture	✓	✓
Mineral-Infused Process for Authentic Color	✓	✓

Performance	Brava Shake	Natural shake
Not Prohibited in Many Jurisdictions	✓	
Fire Retardant: Class A or Class C	✓	Varies by manufacturer; needs treatment with corrosive chemicals
Wind Resistance: 110+ mph	✓	✓
Impact Resistance: Class 4	✓	Natural shake is vulnerable to hail
Freeze/Thaw Resistant	✓	
Maintenance Free	✓	Requires replacement of individual shakes throughout life cycle
Color-Fast	✓	
Hail Warrantied	✓	

Installation	Brava Shake	Natural shake
Factory-Collated Color Blends	✓	✓
Factory-Collated Widths	✓	✓
Estimated Waste Factor	Low	High; shakes too narrow or broken during installation must be discarded



Tolerances +/- 1/2". All specifications subject to change without notice.

The printed colors shown may vary from actual colors. Before making a final selection, be sure to review actual material samples and roof installations. Please contact your salesperson for further assistance.

In order to achieve certain fire and wind ratings, special installation instructions may be required. Please reference Brava Roof Tile installation manuals at www.BravaRoofTile.com for more details.