

Epps-McGill Farmhouse - Phase 1



DRAWING LIST

PHASE 1 ARCHITECTURAL

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- A001 NOTES & SPECIFICATIONS
- A002 NOTES & SPECIFICATIONS
- A003 SITE PLAN
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- A111 DEMOLITION & PROPOSED 1ST FLR PLAN
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- A202 DEMOLITION & PROPOSED BUILDING ELEVATIONS
- A301 BUILDING SECTIONS
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- A502 ROOF AND FLASHING DETAILS

STRUCTURAL

- S-1 FOUNDATION PLAN
- S-2 DROPPED GIRDER FRAMING PLAN
- S-5 2ND FLR CEILING FRAMING PLAN
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- S-7 SECTIONS AND NOTES

CONTACTS

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SCOPE OF WORK DESCRIPTION

Phase 1 Scope of work is limited to the following:

- Stabilize the structure per foundation and roof framing plans.
- Verify lower level roof framing, second floor framing, and porch framing conditions prior to new construction and alterations.
- New roof
 - a. Remove existing metal 5V roof, wood shingles, and purlins beneath prior to new installation.
 - b. Install sheathing over existing rafters as a base for new roofing system.
 - c. Architectural Asphalt Shingle Basis of Design: GAF Timberline® NS Shingles, Color/Finish: Weathered Wood
- Repair and repaint all cornice work.

Notes:

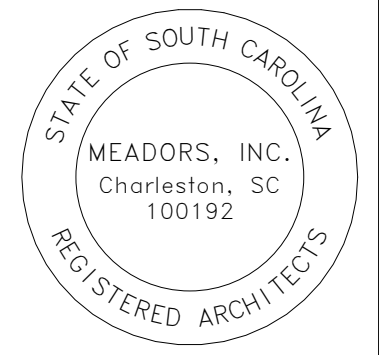
- Owner to remove all furnishings prior to start of Phase 1 work.
- Phase 2 to occur at a later date.

LOCATION MAP



MEADORS
SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



**EPPS-MCGILL
FARMHOUSE**

679 Eastland Ave
Kingstree, South Carolina 29556

Construction
Documents

PROJ. NO. 20-0087
ISSUE DATE: 02.05.2024

REVISIONS

#	DATE	NOTES

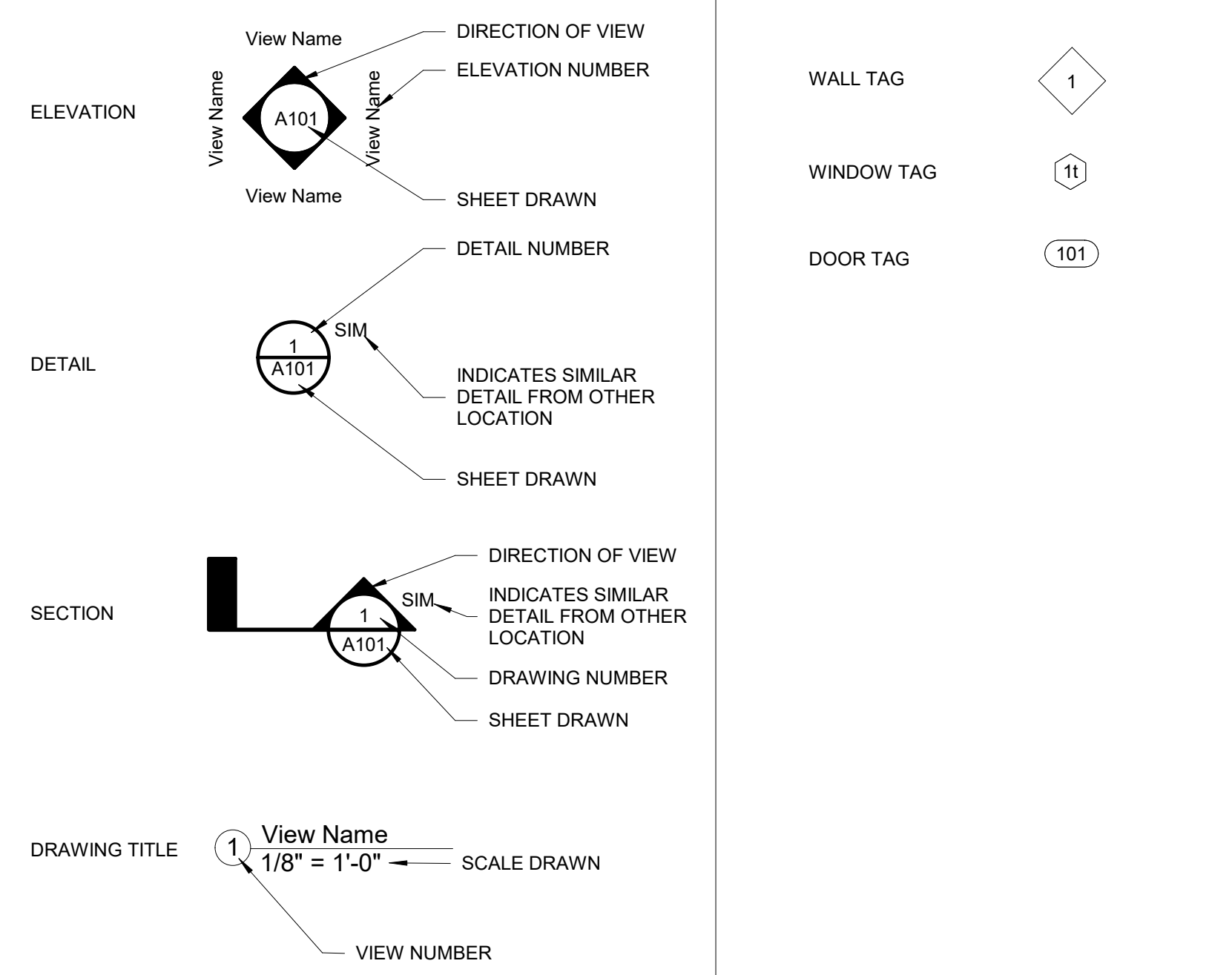
COVER/TITLE
SHEET

A000

ABBREVIATIONS LEGEND

& @ ACOUS ACT ADA AFF ALT ALUM APPROX ARCH	AND AT ACOUSTICAL ACOUSTICAL CEILING TILE AMERICANS WITH DISABILITY ACT ABOVE FINISHED FLOOR ALTERNATE ALUMINUM APPROXIMATE ARCHITECTURAL	KDAT LT WT LLH LLV LP LVL	KILN DRIED AFTER TREATMENT LIGHT WEIGHT LONG LEG HORIZONTAL LONG LEG VERTICAL LOW POINT LAMINATED VENEER LUMBER
BLDG BLKG BM B.O.	BUILDING BLOCKING BEAM BOTTOM OF	MATL MAX MECH MFR MIN MISC MO MTL	MATERIAL MAXIMUM MECHANICAL MANUFACTURER MINIMUM MISCELLANEOUS MASONRY OPENING METAL
CAT CJ CL CLG CMU COL CONC CONN CONST CONT	CATALOGUE CONTROL JOINT CENTERLINE CEILING CONCRETE MASONRY UNIT COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS	NIC NOM NON-COM NTS	NOT IN CONTRACT NOMINAL NON-COMBUSTIBLE NOT TO SCALE
DET / DTL DIA DIM DN DR DS DWGS	DETAIL DIAGONAL DIAMETER DIMENSION DOWN DOOR DOWNSPOUT DRAWINGS	OC OPNG OPP OFICI OF/OI	ON CENTER OPENING OPPOSITE OWNER FURNISHED - CONTRACTOR INSTALLED OWNER FURNISHED - OWNER INSTALLED
EA EJ ELEV EOS EQ EQUIP EX/EXIST EXT	EACH EXPANSION JOINT ELEVATION EMERGENCY OVERFLOW SCUPPER EQUAL EQUIPMENT EXISTING EXTERIOR	RAD RD REF REINF REQ'D REV RO	RADIUS ROOF DRAIN REFERENCE REINFORCING REQUIRED REVISION ROUGH OPENING
FACP FD FDN FE FEC FFE FIG FIN FLR FRP FTG	FIRE ALARM CONTROL PANEL FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER & CABINET FURNITURE, FIXTURES, AND EQUIPMENT FIGURE FINISH FLOOR FIBERGLASS REINFORCED PLASTIC FOOTING	SCHED SEC SECT SIM SOG SOG SQ SQ FT STD STL STRUCT SYM	SCHEDULE SECURE / SECURITY SECTION SIMILAR SLAB ON GRADE SPECIFICATIONS SQUARE SQUARE FEET STANDARD STEEL STRUCTURE / STRUCTURAL SYMMETRICAL
GALV GA GYP BD GIR GRD BM	GALVANIZED GAUGE OR GAGE GYPSUM BOARD GIRDER GRADE BEAM	TEMP THK'NS T.O. TRTD T.T.W. TYP	TEMPORARY THICKNESS TOP OF TREATED TO THE WEATHER TYPICAL
H/C HB HM HORIZ HP HT HVAC	HANDICAPPED HOSE BIB HOLLOW METAL HORIZONTAL HIGH POINT HEIGHT HEATING, VENTILATION, & AIR CONDITIONING	UNO VCT VERT VIF VL	UNLESS NOTED OTHERWISE VINYL COMPOSITION TILE VERTICAL VERIFY IN FIELD VINYL
INSUL INTR INV JT	INSULATION INTERIOR INVERT JOINT	W/ W/O WP WS WT	WITH WITHOUT WATERPROOFING WATER STOP WEIGHT

SYMBOLS LEGEND



PROJECT GENERAL NOTES

- THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
- THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS.
- SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, TAXES, PERMITS, AND FEES AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT.
- BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IF THE CONTRACT DRAWINGS AND SPECS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- THE ARCHITECT SHALL HAVE UNRESTRICTED ACCESS TO THE SITE DURING CONSTRUCTION OF THE PROJECT. IF A CONDITION EXISTS, THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ANY OF THE ARCHITECT'S CONSULTANTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING.
- CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.
- THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY ARE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AS OUTLINED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS, AND ALL SAFETY PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK.
- INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW AND GENERAL LIABILITY SHALL BE CARRIED BY THE CONTRACTOR, NAMING THE OWNER AND ARCHITECTS AS ADDITIONALLY INSURED.
- GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE, UNLESS NOTED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS, FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES AND SUBCONTRACTORS.
- CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND, AT THE COMPLETION OF THE WORK, SHALL REMOVE ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS, AND LEAVE THE PROJECT CLEAN AND IN SAFE CONDITION.
- CONTRACTOR TO PROVIDE THE OWNER WITH A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS ASSOCIATED WITH ANY COMPONENT INCLUDED AS PART OF THE SCOPE OF WORK.
- CONTRACTOR AND SUB-CONTRACTORS SHALL REFERENCE THE OWNERS PROJECT REQUIREMENTS (OPR) AND NOTIFY ARCHITECT AND MEP ENGINEER OF ANY DISCREPANCIES FROM THE OPR.
- CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON SITE AND NOTE DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND DOCUMENT SPECIAL CONDITIONS THAT ARE EXPOSED. CONTRACTOR SHALL TURN THE RECORD SET OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- NO OPEN FLAME DEVICES ARE ALLOWED WITHIN THE BUILDING OR ON COMPONENTS STILL ATTACHED TO THE BUILDING. THIS INCLUDES, BUT IS NOT LIMITED TO, TORCHES, WELDERS OR CIGARETTES.
- DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER MEASUREMENTS.
- THESE DOCUMENTS ARE THE COPYRIGHTED PROPERTY AND INTELLECTUAL PROPERTY OF MEADORS INC. THE DOCUMENTS ARE NOT TO BE REPRODUCED OR UTILIZED FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED AS STIPULATED ON THE COVER SHEET AND TITLEBLOCK. USE OF THE DOCUMENTS FOR ANY PURPOSE, SPECIFICALLY STIPULATED OR NOT, SHALL BE GRANTED ONLY VIA AUTHORIZED WRITING BY MEADORS INC.
- NONE OF THE DOCUMENTS INCLUDED IN DRAWING INDEX ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. ALL PARTIES/ENTITIES UTILIZING THESE DOCUMENTS FOR BIDDING, QUANTITY SURVEY, AND/OR CONSTRUCTION SHALL CONSULT THE GENERAL NOTES AND INFORMATION LOCATED ON THIS SHEET AND ALL SHEETS FOR INFORMATION AND CONDITIONS GOVERNING WORK DESCRIBED IN DOCUMENTS LISTED IN THE DRAWING INDEX BEFORE PROCEEDING WITH PROCUREMENT AND/OR CONSTRUCTION. GENERAL INFORMATION AND DATA SHEET(S) PROVIDE CODE PROCEDURAL AND USE GUIDELINES GOVERNING ALL BID AND/OR CONSTRUCTION DOCUMENTS. ALL BIDDERS, SUB-BIDDERS, CONTRACTORS, AND SUB-CONTRACTORS SHALL UTILIZE COMPLETE SETS OF THE BIDDING AND/OR CONSTRUCTION DOCUMENTS IN QUANTIFYING AND CONSTRUCTING. NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS, OMISSIONS, OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF BIDDING AND/OR CONSTRUCTION DOCUMENTS.
- ALL CONSTRUCTION, MATERIALS, AND INSTALLATIONS SHALL CONFORM TO THE CURRENT CODES NOTED ON THE COVER SHEET OF THESE DRAWINGS AS WELL AS APPLICABLE STATE AND LOCAL CODES, TRADE ASSOCIATION STANDARDS AND/OR MANUFACTURER'S STANDARDS AS ADOPTED BY THE APPLICABLE LOCAL JURISDICTION HAVING AUTHORITY.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- COORDINATE AREAS FOR LAYDOWN, STORAGE AND PARKING WITH ARCHITECT AND OWNER PRIOR TO BEGINNING THE WORK.
- FLOOR ELEVATIONS BASED ON SITE MEASUREMENTS W/ ELEVATION 0'-0" AT FIRST FLOOR. VERIFY DIMENSIONS PRIOR TO PERFORMING WORK.
- PROVIDE ADEQUATE BLOCKING FOR ALL NEW SHELVING, BRACKETS, GRAB BARS, HANDRAILS, CABINETS, BATH ACCESSORIES, ETC.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND WITHIN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THEIR WORK.
- DIMENSIONS ARE TAKEN FROM FACE OF FRAMING LUMBER, FACE OF CONCRETE/MASONRY, CENTER OF COLUMN, CENTERLINE OF WINDOWS, AND CENTERLINE OF FIXTURE, UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS NOTED "VERIFY IN FIELD (V.I.F.)" SHALL BE MEASURED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR SITUATIONS.
- IN THE CASE OF DISCREPANCIES WITHIN DESCRIPTIONS OF SIMILAR ITEMS, PRECEDENCE SHALL BE GIVEN TO NOTES & DRAWINGS OF GREATER DETAIL.
- ALL REQUIRED EXITS SHALL BE OPERABLE FROM THE INSIDE, WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
- ANY ELECTRICAL, PLUMBING, AND/OR HVAC SYSTEMS INCLUDED IN THE WORK SHALL BE INSTALLED ON A DESIGN-BUILD BASIS, AND SHALL NOT SIGNIFICANTLY ALTER THE STRUCTURE OR FINISHES.

EXISTING HAZARDOUS MATERIALS

- REFER TO ABESTOS INSPECTION REPORT PREPARED BY ASBESTOS INSPECTIONS, LLC DATED JANUARY 2, 2024.
A. CONTRACTOR TO NOTE THAT THE PROJECT WAS NOT TESTED FOR LEAD PAINT. THEREFORE THE INSPECTION REPORT DOES NOT INCLUDE ANY REFERENCES TO LEAD PAINT. CONTRACTOR TO ASSUME THAT LEAD PAINT IS PRESENT AND TO TREAT SURFACES ACCORDINGLY.
- CONTRACTOR TO FOLLOW ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS REGARDING THE REMOVAL OF ANY HAZARDOUS MATERIALS.

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION. ALL SUBCONTRACTORS SHALL BE PROVIDED WITH A SET OF DRAWINGS.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS, AS WELL AS INSPECT THE PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR PROBLEMS WHICH COULD HAVE BEEN REASONABLY PREVENTED BY A THOROUGH EXAMINATION.
- PROVIDE TEMPORARY SUPPORT AS NECESSARY TO ENSURE THE STRUCTURAL INTEGRITY OF THE BUILDING UNDER CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION-RELATED ACTIVITIES.
- INSTALL FIXTURES, MATERIALS, AND EQUIPMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS. SHOULD THOSE SPECS CONFLICT WITH THE DRAWINGS, IMMEDIATELY NOTIFY THE ARCHITECT.
- VERIFY CLEARANCES FOR FIXTURES, VENTS, CHASES, ETC. BEFORE ORDERING OR INSTALLING RELATED WORK ITEMS.
- INSTALL SMOKE DETECTORS AND FIRE EXTINGUISHERS IN CONFORMANCE TO LOCAL FIRE MARSHALL REQUIREMENTS.
- ALL REQUIRED EXITS SHALL BE OPERABLE FROM THE INSIDE, WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
- COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO: IRRIGATION PIPES, ELECTRICAL CONDUITS, WATER LINES, GAS LINES, AND DRAINAGE LINES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REGULARLY REMOVING THE WASTE MATERIALS OF ALL SUBCONTRACTORS, AND MAINTAIN STRICT CONTROL OVER JOB CLEANING TO PREVENT DUST AND RUBBISH FROM INTERFERING WITH OPERATIONS. THIS STATEMENT DOES NOT RELIEVE THE SUBCONTRACTOR FROM PLACING THEIR WASTE MATERIALS IN THE SPECIFIED WASTE CONTAINERS. SUBCONTRACTORS ARE RESPONSIBLE FOR THEIR WORK AND KEEPING THE CONSTRUCTION SITE CLEAN.
- CONSTRUCTION EQUIPMENT NOISE SHALL BE MINIMIZED DURING THE CONSTRUCTION PHASES BY MUFFLING AND SHIELDING IMPACT TOOLS WHENEVER POSSIBLE.

SITework/GRADING NOTES

- GRADING AND SITework TO BE MINIMAL IN ALL AREAS NOT DIRECTLY AFFECTED BY THE WORK. FOLLOW BEST PRACTICES AND LOCAL REQUIREMENTS IN ORDER TO MINIMIZE ENVIRONMENTAL DAMAGE.
- PLUMBING LINES, SANITARY SEWER LINES, STORM DRAINAGE LINES, DOMESTIC WATER LINES, GAS LINES, TELECOMMUNICATIONS CABLING, AND IRRIGATION LINES ARE TO BE INSTALLED ON A DESIGN-BUILD BASIS.
- FINISH GRADE MUST SLOPE AWAY FROM EXTERIOR FOUNDATION WALL, AT A HEIGHT OF 6 INCHES OVER A 10 FOOT DISTANCE.
- ANY SURVEY MARKERS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.
- BEFORE GRADING OPERATIONS, A TEMPORARY PROTECTION FENCE SHALL BE CONSTRUCTED AROUND ANY TREE WITHIN 30 FEET OF THE FOUNDATION, AND A SILT FENCE MUST BE CONSTRUCTED DOWNSLOPE OF ANY AREA WHERE THE SOIL IS DISTURBED.

FOUNDATION NOTES

- CONSULT SOILS REPORT AND STRUCTURAL DRAWINGS FOR SPECIFIC INFORMATION RELATED TO THE WORK AND EXISTING SITE.
A. **NOTE: GEOTECHNICAL EXPLORATION AND SOIL ANALYSIS HAS NOT YET BEEN PERFORMED. CONTRACTOR TO HIRE ENGINEER TO EXPLORE SUBSURFACE CONDITIONS AT THE SITE, EVALUATE THOSE CONDITIONS, AND PROVIDE RECOMMENDATIONS FOR SITE PREPARATION AND FOUNDATION SUPPORT.**
- FOOTINGS SHALL BE INSTALLED PER STRUCTURAL AND ARCHITECTURAL DRAWINGS AND COORDINATED WITH RECOMMENDATIONS FOUND WITHIN SOILS REPORT.
- PERFORATED DRAINAGE PIPES SHALL BE LOCATED WITHIN A GRAVEL PERIMETER AROUND THE FOUNDATION, AND INCORPORATE MULTIPLE DRAINAGE OUTLETS LEADING DOWNSLOPE AWAY FROM THE BUILDING. DRAINAGE PIPES MUST EXIT TO DAYLIGHT, CONNECT TO DESIGNATED DRY WELLS, OR CONNECT TO LOCAL MUNICIPAL STORM WATER.
- ALL DOWNSPOUTS TO BE DIVERTED AWAY FROM BUILDING FOUNDATION BY USE OF SPLASH BLOCKS OR EXTENSIONS SO THAT DISCHARGE IS A MINIMUM OF 3 FEET AWAY FROM FOUNDATION. NO DOWNSPOUT SHALL DISCHARGE IN AN AREA THAT DOES NOT POSITIVELY DRAIN AWAY FROM FOUNDATION. IT IS PREFERRED FOR DOWNSPOUTS TO DISCHARGE IN SUBGRADE PIPING AND DIVERTED TO DESIGNATED DRY WELL LOCATIONS OR CONNECTED TO LOCAL MUNICIPAL STORM WATER.

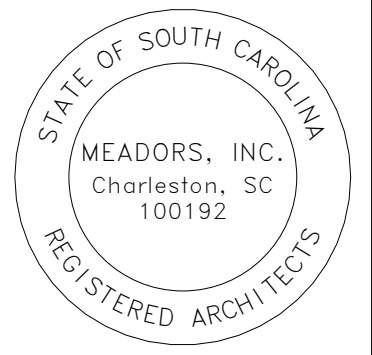
FRAMING NOTES

- PROVIDE TEMPORARY SUPPORT AS NECESSARY TO ENSURE THE STRUCTURAL INTEGRITY OF THE BUILDING UNDER CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION-RELATED ACTIVITIES.
- ALL WOOD WITHIN 8 INCHES OF THE GROUND SHALL BE PRESSURE TREATED OR COMPRISE A SUITABLY ROT RESISTANT MATERIAL. METAL CONNECTIONS WHICH TOUCH THIS WOOD SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
- ANY PREFABRICATED ROOF TRUSSES MUST BE DESIGNED, CONSTRUCTED, AND CERTIFIED ACCORDING TO MANUFACTURERS' REQUIREMENTS.
- ALL ROOF SHEATHING TO BE 5/8 INCH TONGUE AND GROOVE ADVANTECH.
- FRAMING CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL HURRICANE CLIPS AND ASSOCIATED FASTENERS.

MASONRY REPOINTING NOTES

- CONTRACTOR TO PLAN FOR 100% REPOINTING OF MASONRY PIERS, FIREPLACES, CHIMNEYS WITHIN CRAWLSPACE AND ATTIC, AND MASONRY FOUNDATION ELEMENTS. REFER TO SECTION 040323 "HISTORIC BRICK UNIT MASONRY REPOINTING" AND 040513 "MORTARS FOR STRUCTURAL REPAIRS" FOR ADDITIONAL INFORMATION.

MEADORS
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EPPS-MCGILL FARMHOUSE
679 Eastland Ave
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NOTES & SPECIFICATIONS

A001

GENERAL NOTE ON INTERIOR & EXTERIOR PAINTING

CONTRACTOR TO ENSURE FINISHES ARE FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS. ALL HARD EDGES OF PAINT TO BE FEATHERED SO THAT VARIATIONS IN PAINT THICKNESS ARE NOT VISIBLE. DUE TO THE CONDITION OF THE EXTERIOR PAINT, COMPONENTS MAY REQUIRE COMPLETE PAINT REMOVAL TO ACHIEVE STABLE, WELL ADHERED, AND VISIBLY HOMOGENOUS PAINT.

- A. ANY CUT OR NOTCHED EXTERIOR WOOD SHALL BE COATED WITH A WOOD OR EPOXY SEALER TO PROTECT END GRAINS FROM ABSORBING WATER.
- B. PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT ON EXISTING PAINTED ELEMENTS. NEW EXTERIOR WOOD SURFACES TO HAVE AN ADDITIONAL COAT OF OIL BASED PRIMER.
- C. REMOVE OVERPRINTING BOTH NEW AND OLD FROM ALL GLASS AND HARDWARE INTENDED TO BE AN UNPAINTED METAL SURFACE.
- D. INTERIOR AND EXTERIOR WOOD-PATCHING COMPOUND SHALL BE TWO-PART, EPOXY-RESIN (WEST SYSTEM 5.1, ABATRON 2.1, OR APPROVED EQUAL).
- E. METAL-PATCHING COMPOUND SHALL BE TWO-PART, POLYESTER-RESIN (ABATRON, FERROBOND P., OR APPROVED EQUAL).

EXTERIOR MILLWORK NOTES

1. CONTRACTOR TO ENSURE THAT ALL EXTERIOR MILLWORK AND TRIM IS FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS.
2. MILLWORK/TRIM SHALL BE LAMINATED AND FORMED, PRESHAPED, OR MACHINED TO THE DIMENSION/RADIUS AND FABRICATED IN THE LONGEST PRACTICAL LENGTHS TO MINIMIZE INSTALLER JOINTS. INSTALL WITH MINIMUM NUMBER OF JOINTS POSSIBLE, USING FULL-LENGTH PIECES FROM MAXIMUM LENGTH OF LUMBER AVAILABLE. COPE AT RETURNS; MITER AT CORNERS TO PRODUCE TIGHT FITTING JOINTS. USE SCARF JOINTS FOR END-TO-END JOINTS.
3. ALL EXTERIOR MILLWORK AND TRIM SHALL BE MINIMUM CUSTOM GRADE AND CLEAR OF KNOTS, DEFECTS, AND BLEMISHES. UNLESS NOTED OTHERWISE, EXTERIOR MILLWORK AND TRIM IS INTENDED FOR OPAQUE FINISH.
4.
 - A. SPECIES AND GRADE:
 1. C & BETTER PRESSURE-PRESERVATIVE-TREATED SOUTHERN PINE; SPIB
 2. SAPELE
 3. CEDAR
 4. EXTERIOR STANDING AND RUNNING TRIM:
 - A. BOARDS AND WORKED LUMBER PRODUCTS COMPLYING WITH REQUIREMENTS INDICATED BELOW INCLUDING THOSE OF GRADING AGENCIES LISTED WITH SPECIES.
 - a. SPECIES: WESTERN RED CEDAR: WWPA OR WCLIB.
 - b. GRADE: B AND BTR - 1 AND 2 CLEAR.
 - c. TEXTURE: SURFACED (SMOOTH).
 5. SIDING BOARD TYPE:
 - A. LUMBER MILLED TO PATTERN AND SIZE INDICATED, COMPLYING WITH REQUIREMENTS INDICATED BELOW INCLUDING THOSE OF GRADING AGENCY USED WITH SPECIES:
 - a. SPECIES: WESTERN RED CEDAR: WWPA OR WCLIB
 - b. GRADE: A GRADE VG.
 - c. TEXTURE: SURFACED.
 6. PATTERN: OVERALL DIMENSIONS AND PATTERN TO MATCH EXISTING AND AS SPECIFIED IN DRAWINGS.
5. EXTERIOR MILLWORK SHALL BE PRIME COATED ALL SIDES PRIOR TO REACHING THE JOBSITE. ONCE INSTALLED, THE MILLWORK SHOULD BE COATED WITH TWO COATS OF FINISH PAINT. ALL MILLWORK/TRIM SHALL BE SURFACE FOUR SIDES (S4S).
6. EXTERIOR MILLWORK/TRIM SHALL BE KILN DRIED AFTER TREATMENT (KDAT), MOISTURE CONTENT SHALL BE AS NOTED BELOW. LUMBER SHALL BE AT A MINIMUM PRIME COATED PRIOR TO REACHING THE JOBSITE. ONCE INSTALLED, THE KDAT LUMBER SHALL BE COATED WITH TWO COATS OF FINISH PAINT. ALL MILLWORK/TRIM SHALL BE SURFACE FOUR SIDES (S4S).
 - A. PROVIDE MATERIAL THAT HAS BEEN KILN DRIED AFTER TREATMENT, MOISTURE CONTENT MUST BE BELOW 15% WITH AT LEAST 85 PERCENT OF SHIPMENT AT 12% OR LESS.
 - B. PRE-PRIME AND APPLY A MINIMUM OF ONE COAT OF FINISH PAINT ON ALL SIDES PRIOR TO INSTALLATION. ANY CUT OR NOTCHED WOOD SHALL BE COATED WITH AN EPOXY SEALER TO PROTECT END GRAINS FROM ABSORBING WATER.
7. PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT AT EXTERIOR SURFACES.
8. ALL GLASS SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS.
10. GUARDRAILS MUST BE LOCATED ALONG FLOOR SURFACES THAT ARE LOCATED 30 INCHES OR MORE ABOVE THE FLOOR OR GROUND BELOW.
11. DO NOT USE FINGER-JOINTED WOOD.
12. BOXED BEAMS, COLUMNS, PILASTERS, SEATS, BENCHES, AND TRELLISES SHALL BE SOUNDLY CONSTRUCTED, WITH TONGUED, SHOULDER MITERED, MORTISED AND TENONED, OR DOWELED JOINTS; SECURELY GLUED, NAILED, AND REINFORCED WITH GLUE BLOCKS OR METAL BRACKETS, AS APPROPRIATE.
13. CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING STRUCTURAL MEMBERS, GROUNDS, IN WALL BLOCKING, BACKING, FURRING, BRACKETS, OR OTHER ANCHORAGE REQUIRED FOR ARCHITECTURAL WOODWORK INSTALLATION THAT BECOMES AN INTEGRAL PART OF WALLS, FLOORS, OR CEILINGS TO WHICH ARCHITECTURAL WOODWORK, SUCH AS APPLIED SURFACING, STANDING AND RUNNING TRIM, WALL MOUNTED SHELF STANDARDS AND DOOR/WINDOW FRAMES SHALL BE INSTALLED.
14. WALL, CEILING, AND/OR OPENING VARIATIONS IN EXCESS OF 1/4" OR FLOORS IN EXCESS OF 1/2" IN 144" OF BEING PLUMB, LEVEL, FLAT, STRAIGHT, SQUARE, OR OF THE CORRECT SIZE ARE NOT ACCEPTABLE FOR THE INSTALLATION OF ARCHITECTURAL WOODWORK, NOR IS IT THE RESPONSIBILITY OF THE INSTALLER TO SCRIBE OR FIT TO TOLERANCES IN EXCESS OF SUCH.
15. CONTRACTOR SHALL VERIFY THAT INSTALLATION SITE IS PROPERLY VENTILATED, PROTECTED FROM DIRECT SUNLIGHT, EXCESSIVE HEAT AND/OR MOISTURE, AND THAT THE HVAC SYSTEM IS FUNCTIONING AND MAINTAINING THE APPROPRIATE RELATIVE HUMIDITY AND TEMPERATURE.
16. CONTRACTOR SHALL VERIFY THAT THE REQUIRED PRIMING OF WOODWORK HAS BEEN COMPLETED BEFORE WOODWORK IS INSTALLED.
17. CONTRACTOR SHALL VERIFY THAT THE WOODWORK HAS BEEN ACCLIMATED TO THE FIELD CONDITIONS FOR A MINIMUM OF 72 HOURS BEFORE INSTALLATION IS COMMENCED.
18. WOODWORK SPECIFICALLY BUILT OR ASSEMBLED IN SEQUENCE FOR MATCH OF COLOR AND GRAIN SHALL BE INSTALLED TO MAINTAIN THAT SAME SEQUENCE.
19. WOODWORK SHALL BE: SECURELY FASTENED AND TIGHTLY FITTED WITH FLUSH JOINTS, AND: JOINERY SHALL BE CONSISTENT THROUGHOUT THE PROJECT; OF MAXIMUM AVAILABLE AND/OR PRACTICAL LENGTHS; TRIMMED EQUALLY FROM BOTH SIDES WHEN FITTED FOR WIDTH; SPLINED OR DOWELED WHEN MITERS ARE OVER 4" LONG; PROFILED OR SELF MITERED WHEN TRIM ENDS ARE EXPOSED; MITERED AT OUTSIDE CORNERS; MITERED FOR S4S AT INSIDE CORNERS; PROFILED TRIM COPED AT INSIDE CORNERS; INSTALLED PLUMB, LEVEL, SQUARE, AND FLAT WITHIN 1/8" IN 96"; INSTALLED FREE OF WARP, TWISTING, CUPPING, AND/OR BOWING THAT CANNOT BE HELD TRUE; SMOOTH AND SANDED WITHOUT CROSS SCRATCHES; AND SCRIBED AT FLAT AND SHAPED SURFACES.
20. FASTENING AND FASTENERS SHALL: INCLUDE THE USE OF CONSTRUCTION ADHESIVE, FINISH NAILS, TRIM SCREWS, PINS AND/OR STAPLES, EXCEPT STAPLES WITH A CROWN EXCEEDING 3/16" ARE NOT PERMITTED; NOT PERMIT THE USE OF DRYWALL OR BUGLE HEAD SCREWS; REQUIRE EXPOSED FASTENERS TO BE COUNTERSUNK; REQUIRE EXPOSED FASTENERS TO BE SET IN QUIRKS AND RELIEFS WHERE POSSIBLE; REQUIRE EXPOSED FASTENERS TO BE INCONSPICUOUS WHEN VIEWED AT 24"; NOT PERMIT EXPOSED FASTENING THROUGH DECORATIVE LAMINATE; REQUIRE ALLOWABLE FASTENER HOLES, WHEN: PREFINISHED MATERIALS TO BE FILLED BY THE INSTALLER WITH MATCHING FILLER BY THE MANUFACTURER, UNFINISHED MATERIALS TO BE FILLED BY THE PAINT CONTRACTOR OR OTHERS. FILLER TO BE USED FOR HOLES UP TO 1/4" IN DIAMETER; PLUGS TO BE USED FOR ANY HOLES LARGER THAN 1/4" IN DIAMETER.
 - A. ANY FASTENERS USED AT PRESSURE TREATED MATERIALS MUST BE STAINLESS STEEL.
 - B. WOOD FILLER / PATCHING COMPOUND: TWO-PART, EPOXY RESIN PATCHING SYSTEM; KNIFE-GRADE FORMULATION AS RECOMMENDED BY THE MANUFACTURER FOR TYPE OF WOOD REPAIR INDICATED, TOOLING TIME REQUIRED FOR THE DETAIL OF WORK, AND SITE CONDITIONS. COMPOUND SHALL BE DESIGNED FOR FILLING VOIDS IN DAMAGED WOOD MATERIALS THAT HAVE DETERIORATED DUE TO WEATHERING AND DECAY. COMPOUND SHALL BE CAPABLE OF FILLING DEEP HOLES AND SPREADING TO FEATHER EDGE.
 - C. PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE ONE OF THE FOLLOWING:
 1. WEST SYSTEMS INC, WEST SYSTEM
 2. AN APPROVED EQUAL
 - D. USE A BISPHENOL A BASED LOW VISCOSITY LIQUID EPOXY RESIN WITH APPROPRIATE HARDENER THAT CURES TO A HIGH STRENGTH PLASTIC SOLID UNDER ROOM TEMPERATURES.
 - E. EPOXY TO HARDENER RATIO SHALL NOT EXCEED 5:1.
 - F. PRODUCT SHALL BE SPECIFICALLY DESIGNED TO BOND WITH HISTORIC WOOD FIBER AND MUST BE ABLE TO BE SANDED AND SHAPED WHEN CURED.
21. GLUE AND FILLER RESIDUE IS NOT PERMITTED ON EXPOSED FACES.
22. EQUIPMENT CUTOUTS, INCLUDING ELECTRICAL AND PLUMBING, SHALL BE CUT OUT BY THE INSTALLER, PROVIDED TEMPLATES ARE FURNISHED PRIOR TO INSTALLATION, AND SHALL BE NEATLY CUT AND PROPERLY SIZED TO BE COVERED BY STANDARD COVER PLATES OR ROSETTES AND CUTOUTS IN HPDL SHALL HAVE RADIUSED INSIDE CORNERS.
23. HARDWARE SHALL BE: INSTALLED NEATLY WITHOUT TEAR OUT OF SURROUNDING STOCK; INSTALLED PER MANUFACTURER'S INSTRUCTIONS; INSTALLED USING FURNISHED FASTENERS AND FASTENERS' PROVISIONS; AND ADJUSTED FOR SMOOTH OPERATION, WITHIN LIMITS OF THE SPECIFIED HARDWARE.
24. AREAS OF INSTALLATION SHALL BE LEFT BROOM CLEAN. DEBRIS SHALL BE REMOVED AND DUMPED IN CONTAINERS PROVIDED BY THE CONTRACTOR. ITEMS INSTALLED SHALL BE CLEANED OF PENCIL OR INK MARKS.
25. FIRST CLASS WORKMANSHIP IS REQUIRED IN COMPLIANCE WITH THESE STANDARDS.
26. QUALITY STANDARD:
 - A. COMPLY WITH APPLICABLE REQUIREMENTS OF 'ARCHITECTURAL WOODWORK QUALITY STANDARDS' BY AMERICAN WOODWORKERS INSTITUTE (AWI).
 - B. PRESERVATION BRIEF 45 "PRESERVING HISTORIC WOODEN PORCHES"
 - C. AMERICAN SOFTWOOD LUMBER STANDARD PS20 AMERICAN PLYWOOD ASSOCIATION
 - D. AMERICAN WOOD PRESERVERS BUREAU STANDARDS
27. INSTALL FINISH CARPENTRY WORK PLUMB, LEVEL, TRUE AND STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED USING CONCEALED SHIMS. SCRIBE AND CUT FINISH CARPENTRY ITEMS TO FIT ADJOINING WORK. ANCHOR FINISH CARPENTRY WORK SECURELY TO SUPPORT AND SUBSTRATES USING CONCEALED FASTENERS AND BLIND NAILING WHERE POSSIBLE. USE FINE FINISH NAILS FOR EXPOSED NAILING EXCEPT AS INDICATED, COUNTERSUNK AND FILLED FLUSH WITH FINISH SURFACE.
28. MANUFACTURERS:
 - A. GREEN RECOMMENDED MANUFACTURERS AND PRODUCTS: (PER BUILDINGGREEN.COM)
 - B. ARMSTER RECLAIMED LUMBER CO.
 - C. RECLAIMED-WOOD LUMBER AND PRODUCTS INDUSTRIES MAIBEC, INC.
 - D. CERTIFIED PR SHINGLES.
28. REFER TO SPECIFICATION SECTION 062012 "EXTERIOR FINISH CARPENTRY."

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Construction Documents

PROJ. NO. 20-0087
ISSUE DATE: 02.05.2024

REVISIONS

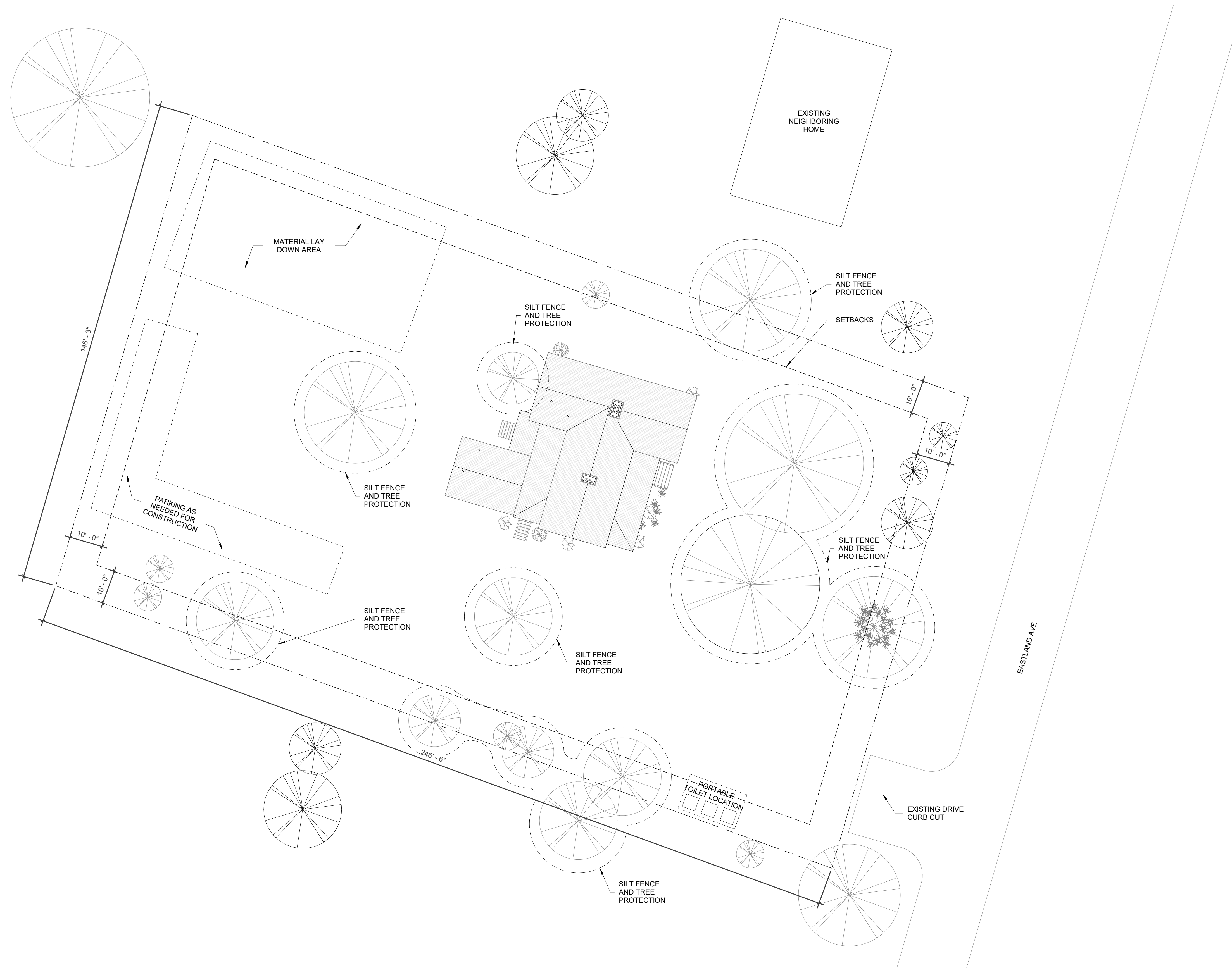
#	DATE	NOTES

NOTES & SPECIFICATIONS

A002

NOTES:

1. PROTECT ALL EXISTING TREES.
2. ARCHITECT RECOMMENDS THAT A CERTIFIED ARBORIST LIMB UP TREES TO REDUCE/MINIMIZE OVERHANGING BRANCHES AND CHECK HEALTH OF TREES.
3. CLEAR AWAY VEGETATION FROM FOUNDATION AS NEEDED FOR SCOPE OF WORK AND ANY UNHEALTHY TREES.
4. LOCATIONS FOR VEGETATION PROTECTION, PARKING ACCESS, MATERIALS LAY DOWN, AND PORTABLE TOILET FOR CONSTRUCTION ACTIVITIES NOTED ON SITE PLAN.



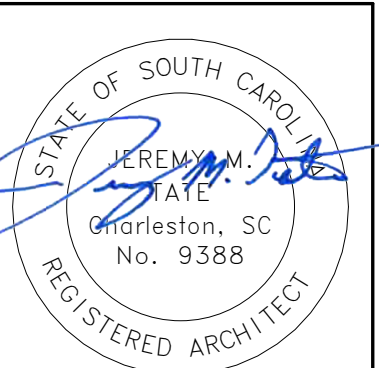
1 SITE PLAN - PHASE 1
1/16" = 1'-0"

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FARMHOUSE**

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-
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SITE PLAN

A003

NOTE:

- REFER TO STRUCTURAL FOR TYPICAL FOUNDATION DETAILS.
- CONTRACTOR TO KEEP CRAWLSPACE FREE OF DEBRIS AND OBSTRUCTION.

DEMO LEGEND

- DEMOLISH
- EXISTING TO REMAIN

GENERAL DEMOLITION NOTES:

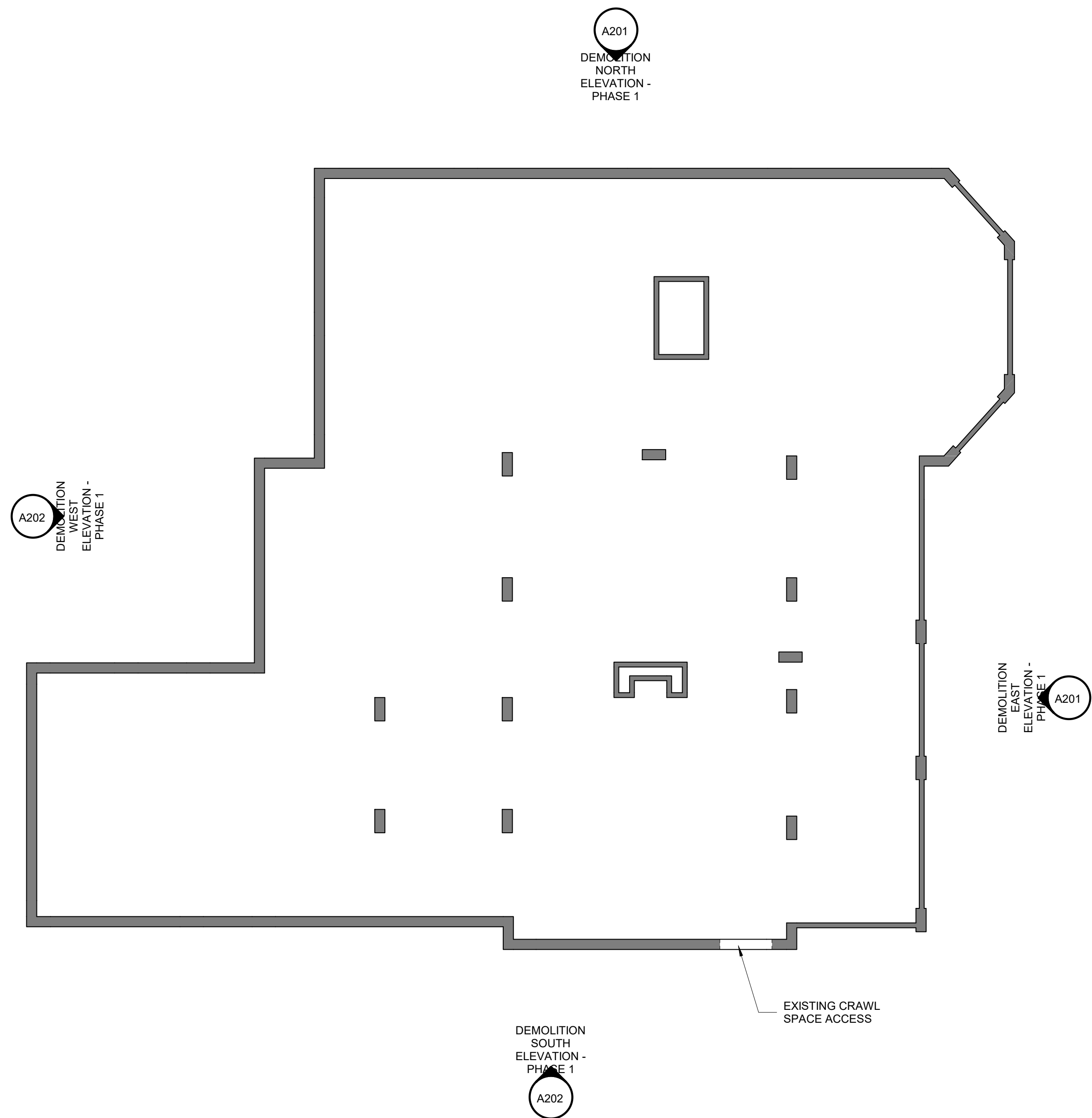
- DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
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- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE MANNER.
- THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANY ALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE REMOVED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

GENERAL FLOOR PLAN NOTES:

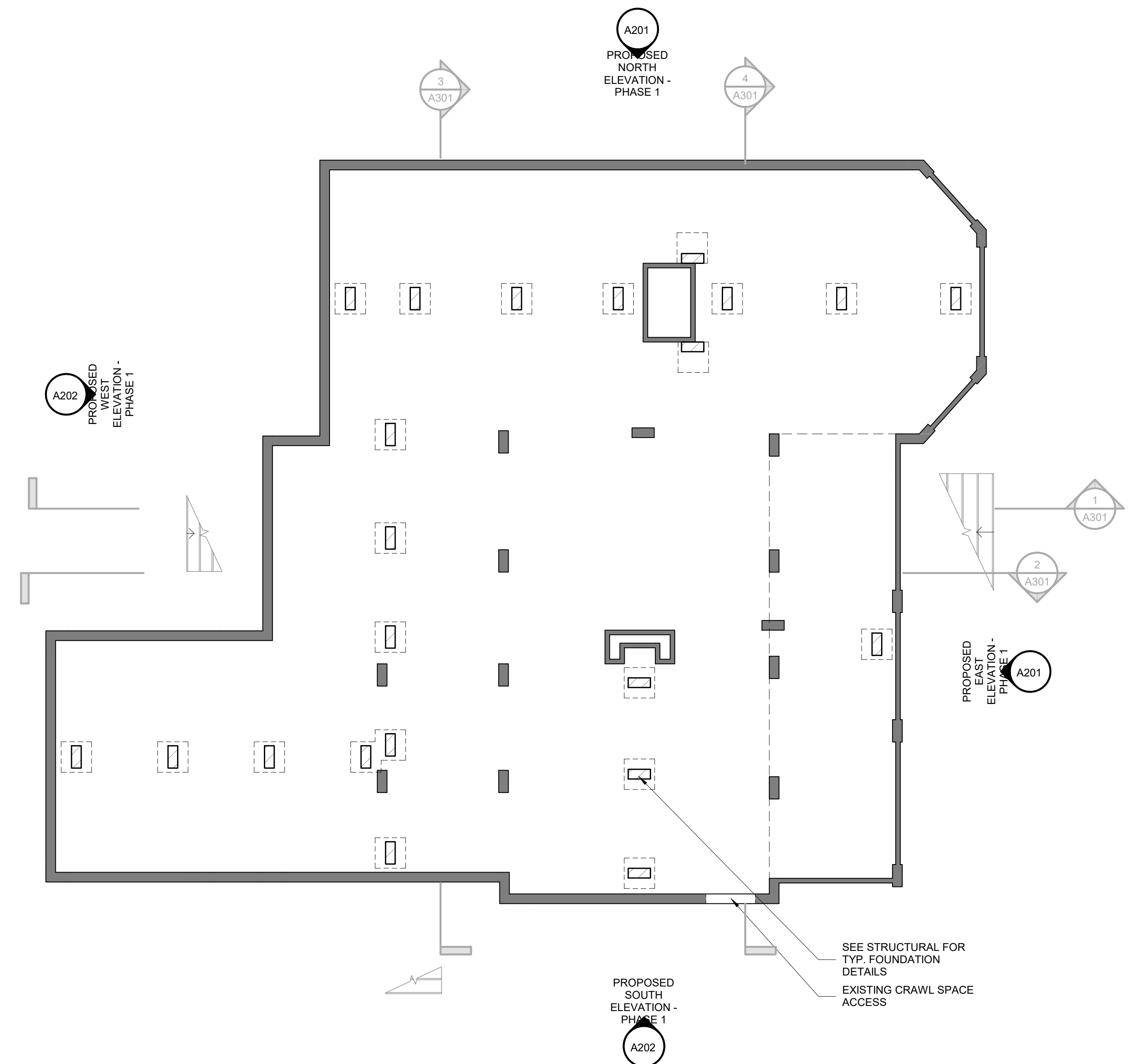
- EXISTING WALLS ARE DIMENSIONED TO FACE OF WALL FINISH
- EXISTING DOORS AND WINDOWS ARE DIMENSIONED TO FINISHED OPENING
- NEW WALLS ARE DIMENSIONED TO FACE OF STUD OR MASONRY
- NEW DOORS ARE DIMENSIONED TO ROUGH OPENING
- NEW WINDOWS ARE DIMENSIONED TO CENTER LINE OF OPENING

WALL LEGEND

- EXISTING WALL
- NEW WALL

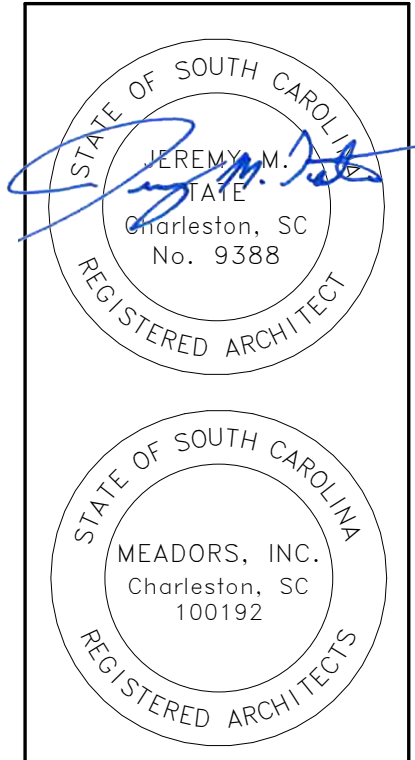


1 00 - DEMOLITION GRADE PLAN - PHASE 1
3/16" = 1'-0"



2 00 - PROPOSED GRADE DIMENSION PLAN - PHASE 1
3/16" = 1'-0"

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-
PHASE 1

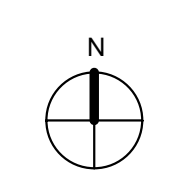
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DEMOLITION & PROPOSED GRADE PLAN
A110

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NOTE:

- OWNER TO REMOVE ALL FURNISHINGS PRIOR TO START OF PHASE 1 WORK.
- 1ST FLOOR PLANS INCLUDED FOR ORIENTATION AND REFERENCE PURPOSES.
 - NO INTERIOR ALTERATIONS INCLUDED FOR PHASE 1.
 - SEE STRUCTURAL FOR 1ST FLOOR FRAMING PLAN.

GENERAL DEMOLITION NOTES:

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DEMO LEGEND

- DEMOLISH
- EXISTING TO REMAIN

GENERAL FLOOR PLAN NOTES:

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- EXISTING DOORS AND WINDOWS ARE DIMENSIONED TO FINISHED OPENING
- NEW WALLS ARE DIMENSIONED TO FACE OF STUD OR MASONRY
- NEW DOORS ARE DIMENSIONED TO ROUGH OPENING
- NEW WINDOWS ARE DIMENSIONED TO CENTER LINE OF OPENING

WALL LEGEND

- EXISTING WALL
- NEW WALL

SQUARE FOOTAGE REPORT - EXISTING

Room Number	Room Name	Conditioned	Area (Conditioned)	Area (Unconditioned)
01 - 1ST FLR				
E100	PORCH	No		234 SF
E101	FOYER	Yes	197 SF	
E102	PARLOR	Yes	306 SF	
E103	BED 01	Yes	278 SF	
E104	CLOSET	No		15 SF
E105	BATH 01	Yes	57 SF	
E106	DINING	Yes	286 SF	
E107	BREAKFAST	Yes	275 SF	
E108	CLOSET	No		13 SF
E109	POWDER	Yes	37 SF	
E110	KITCHEN	Yes	232 SF	
E111	STORAGE	Yes	90 SF	
			1757 SF	262 SF

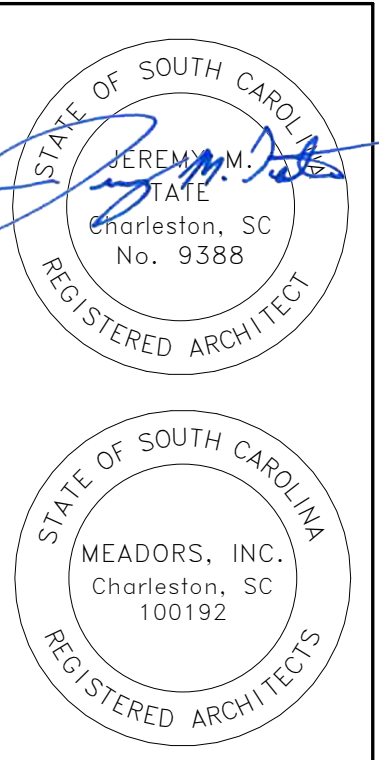
02 - 2ND FLR				
E200	BALCONY	No		234 SF
E201	HALL	Yes	204 SF	
E202	BED 02	Yes	317 SF	
E203	CLOSET	No		15 SF
E204	BED 03	Yes	270 SF	
E205	STORAGE	No		97 SF
E206	BED 04	Yes	278 SF	
E207	CLOSET	No		11 SF
E208	BACK STAIR HALL	Yes	210 SF	
			1279 SF	357 SF

Grand total 3035 SF 619 SF



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PHASE 1

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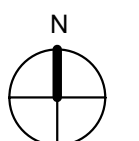
DEMOLITION & PROPOSED 1ST FLR PLAN

A111

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1 01 - DEMOLITION 1ST FLR PLAN - PHASE 1
3/16" = 1'-0"

2 01 - PROPOSED 1ST FLR DIMENSION PLAN - PHASE 1
3/16" = 1'-0"



NOTE:

- OWNER TO REMOVE ALL FURNISHINGS PRIOR TO START OF PHASE 1 WORK.
- 2ND FLOOR PLANS INCLUDED PRIMARILY FOR ORIENTATION AND REFERENCE PURPOSES.
 - NO INTERIOR ALTERATIONS INCLUDED FOR PHASE 1.
- SEE STRUCTURAL FOR 2ND FLOOR AND CEILING FRAMING PLANS.
- CONTRACTOR TO KEEP ATTIC ACCESS FREE OF DEBRIS AND OBSTRUCTION.

GENERAL DEMOLITION NOTES:

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DEMO LEGEND

- DEMOLISH
- EXISTING TO REMAIN

GENERAL FLOOR PLAN NOTES:

- EXISTING WALLS ARE DIMENSIONED TO FACE OF WALL FINISH
- EXISTING DOORS AND WINDOWS ARE DIMENSIONED TO FINISHED OPENING
- NEW WALLS ARE DIMENSIONED TO FACE OF STUD OR MASONRY
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- NEW WINDOWS ARE DIMENSIONED TO CENTER LINE OF OPENING

WALL LEGEND

- EXISTING WALL
- NEW WALL

SQUARE FOOTAGE REPORT - EXISTING

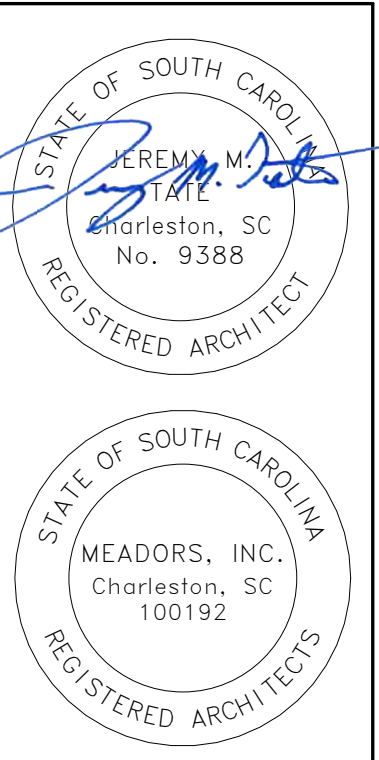
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Grand total 3035 SF 619 SF

MEADORS
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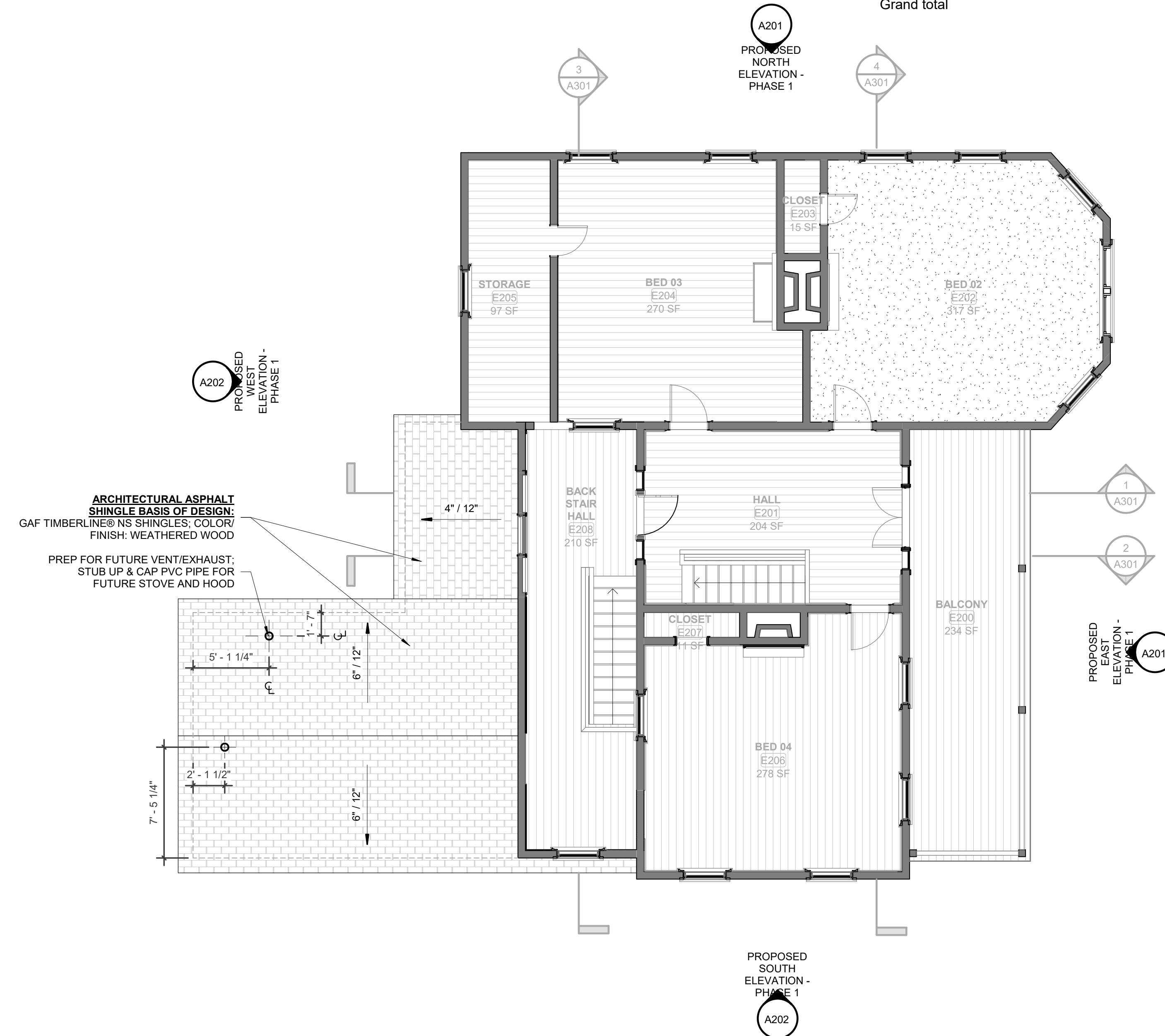
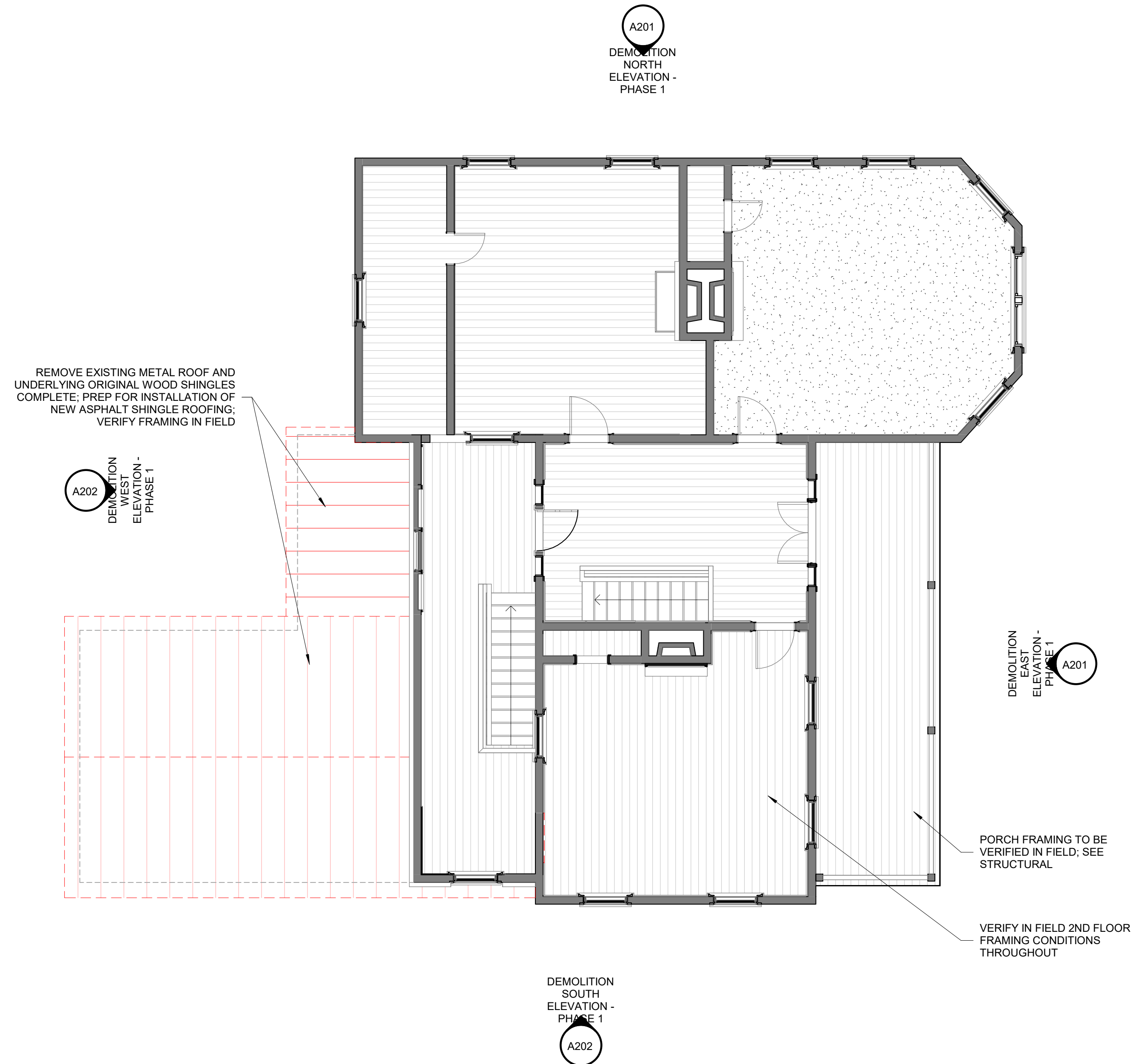
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PHASE 1

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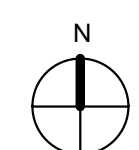
DEMOLITION & PROPOSED 2ND FLR PLAN

A112



① 02 - DEMOLITION 2ND FLR PLAN - PHASE 1
3/16" = 1'-0"

② 02 - PROPOSED 2ND FLR DIMENSION PLAN - PHASE 1
3/16" = 1'-0"



NOTES:

- REMOVE EXISTING METAL 5V ROOF, WOOD SHINGLES AND PURLINS BENEATH PRIOR TO NEW INSTALLATION.
- INSTALL SHEATHING OVER EXISTING RAFTERS AS A BASE FOR NEW ROOFING SYSTEM.

GENERAL DEMOLITION NOTES:

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DEMO LEGEND

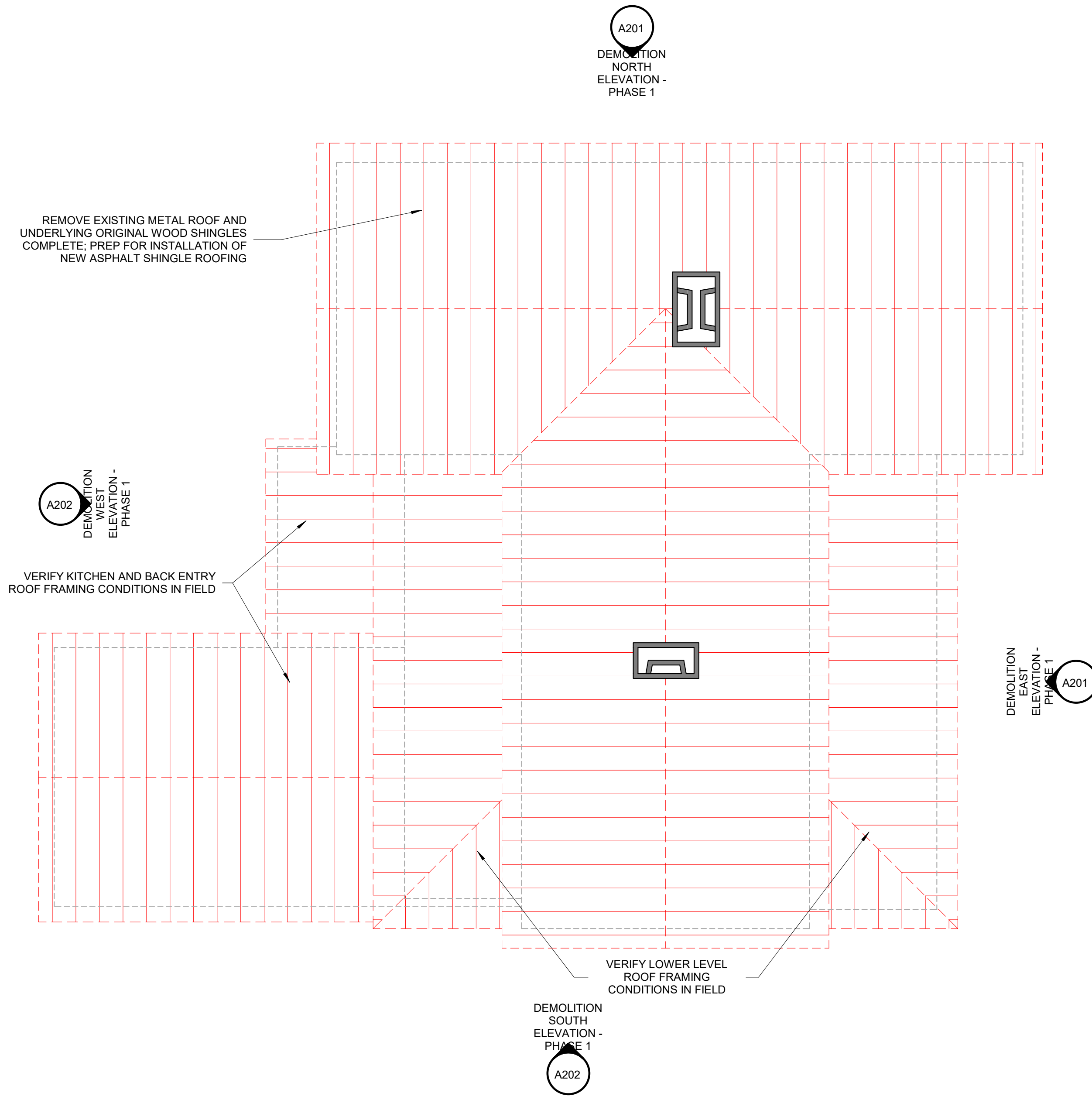
- DEMOLISH
- EXISTING TO REMAIN

GENERAL FLOOR PLAN NOTES:

- EXISTING WALLS ARE DIMENSIONED TO FACE OF WALL FINISH
- EXISTING DOORS AND WINDOWS ARE DIMENSIONED TO FINISHED OPENING
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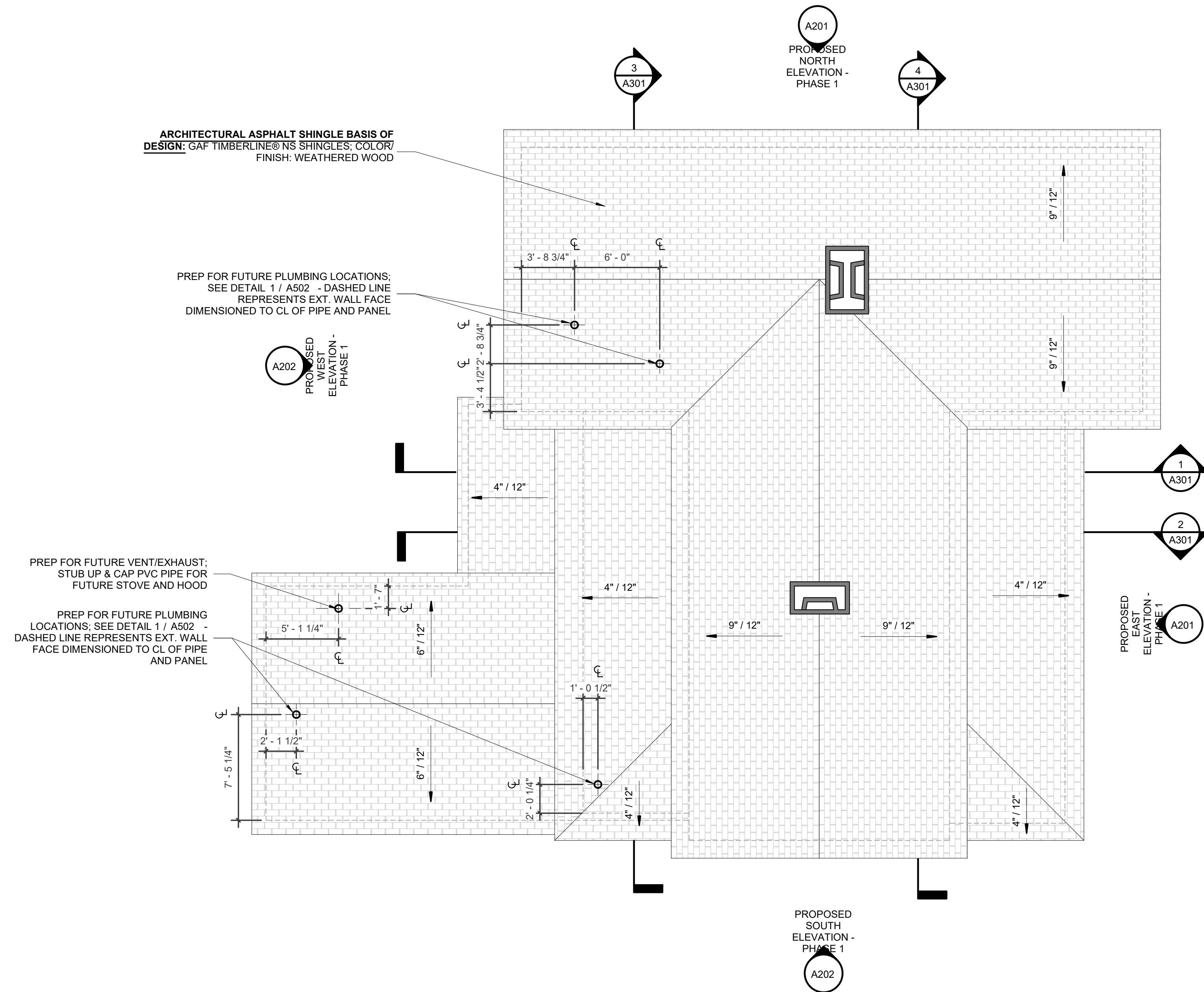
WALL LEGEND

- EXISTING WALL
- NEW WALL



① 03 - DEMOLITION ROOF PLAN - PHASE 1
3/16" = 1'-0"

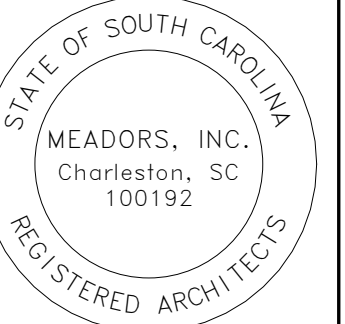
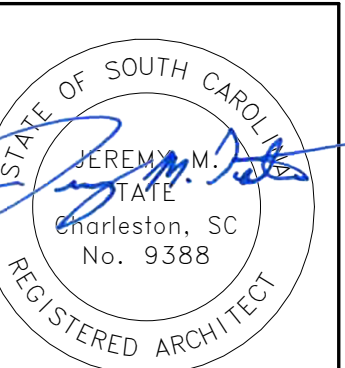
ARCHITECTURAL ASPHALT SHINGLE BASIS OF DESIGN: GAP/TIMBERLINE'S SHINGLES' COLOR: FINISH: WEATHERED WOOD



② 03 - PROPOSED ROOF DIMENSION PLAN - PHASE 1
3/16" = 1'-0"

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PHASE 1

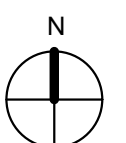
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DEMOLITION & PROPOSED ROOF PLAN

A113



DEMO LEGEND

- DEMOLISH
- EXISTING TO REMAIN

NOTES:

1. SEE SHEET A002 FOR NOTES REGARDING EXTERIOR MILLWORK / WOODWORK; REFER TO SECTION 062012 "EXTERIOR FINISH CARPENTRY" FOR ADDITIONAL INFORMATION.

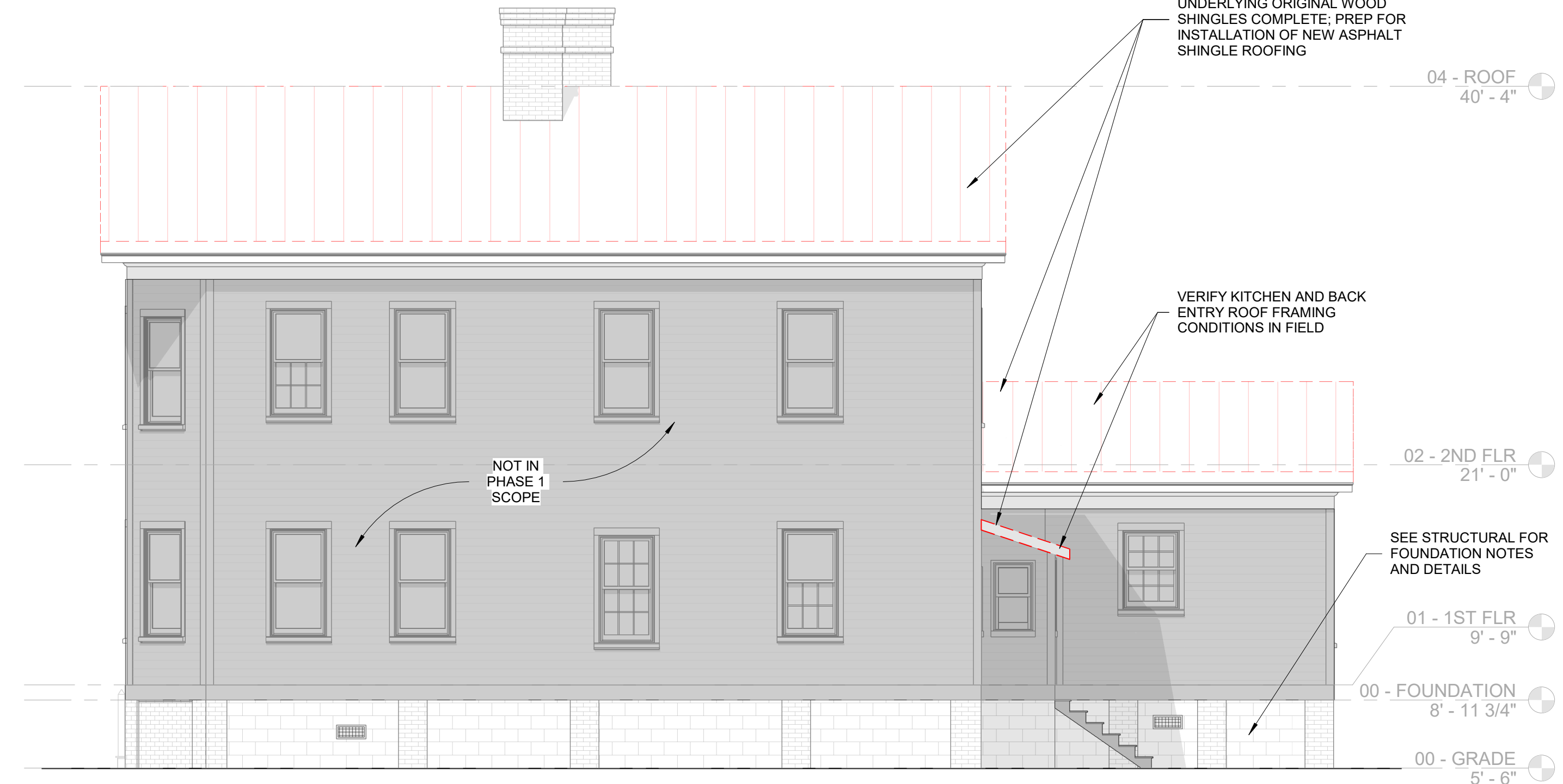
GENERAL NOTE ON INTERIOR & EXTERIOR PAINTING

CONTRACTOR TO ENSURE FINISHES ARE FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS. ALL HARD EDGES OF PAINT TO BE FEATHERED SO THAT VARIATIONS IN PAINT THICKNESS ARE NOT VISIBLE. DUE TO THE CONDITION OF THE EXTERIOR PAINT, COMPONENTS MAY REQUIRE COMPLETE PAINT REMOVAL TO ACHIEVE STABLE, WELL ADHERED, AND VISIBLY HOMOGENOUS PAINT.

- A. ANY CUT OR NOTCHED EXTERIOR WOOD SHALL BE COATED WITH A WOOD OR EPOXY SEALER TO PROTECT END GRAINS FROM ABSORBING WATER.
- B. PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT ON EXISTING PAINTED ELEMENTS. NEW EXTERIOR WOOD SURFACES TO HAVE AN ADDITIONAL COAT OF OIL BASED PRIMER.
- C. REMOVE OVERPRINTING BOTH NEW AND OLD FROM ALL GLASS AND HARDWARE INTENDED TO BE AN UNPAINTED METAL SURFACE.
- D. INTERIOR AND EXTERIOR WOOD-PATCHING COMPOUND SHALL BE TWO-PART, EPOXY-RESIN (WEST SYSTEM 5:1, ABATRON 2:1, OR APPROVED EQUAL).
- E. METAL-PATCHING COMPOUND SHALL BE TWO-PART, POLYESTER-RESIN (ABATRON; FERROBOND P., OR APPROVED EQUAL).



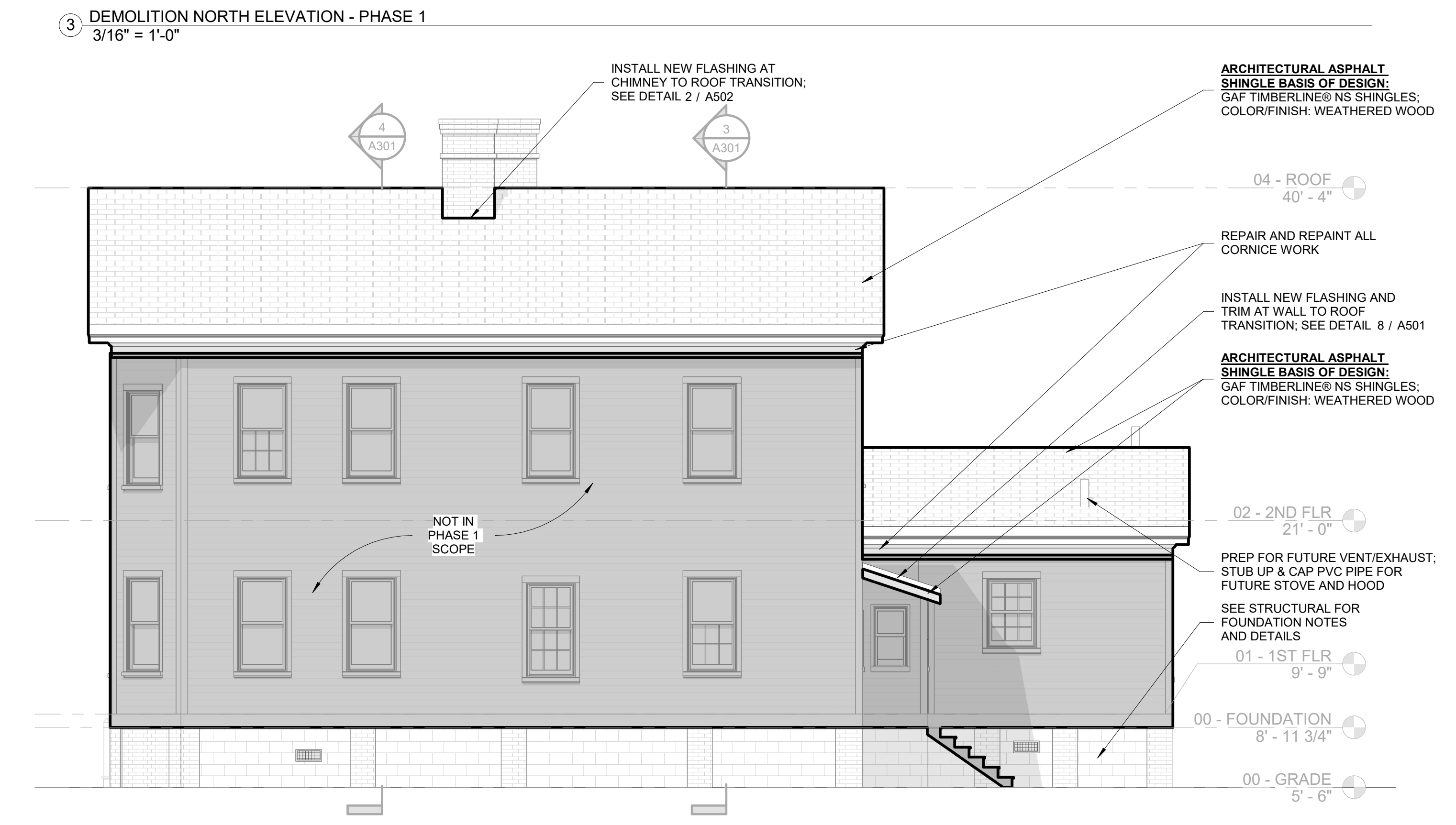
① DEMOLITION EAST ELEVATION - PHASE 1
3/16" = 1'-0"



③ DEMOLITION NORTH ELEVATION - PHASE 1
3/16" = 1'-0"



② PROPOSED EAST ELEVATION - PHASE 1
3/16" = 1'-0"

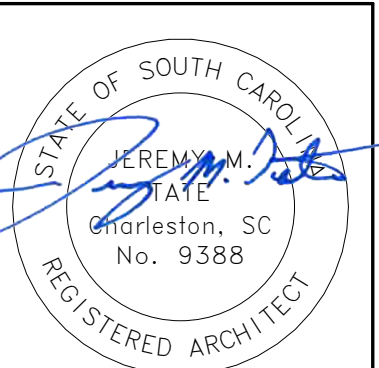


④ PROPOSED NORTH ELEVATION - PHASE 1
3/16" = 1'-0"

MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



EPPS-MCGILL FARMHOUSE

679 Eastland Ave
Kingstree, South Carolina 29566

Construction Documents
-
PHASE 1

PROJ. NO. 20-0087
ISSUE DATE: 02.05.2024

REVISIONS

#	DATE	NOTES

DEMOLITION & PROPOSED BUILDING ELEVATIONS

A201

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DEMO LEGEND

- DEMOLISH
- EXISTING TO REMAIN

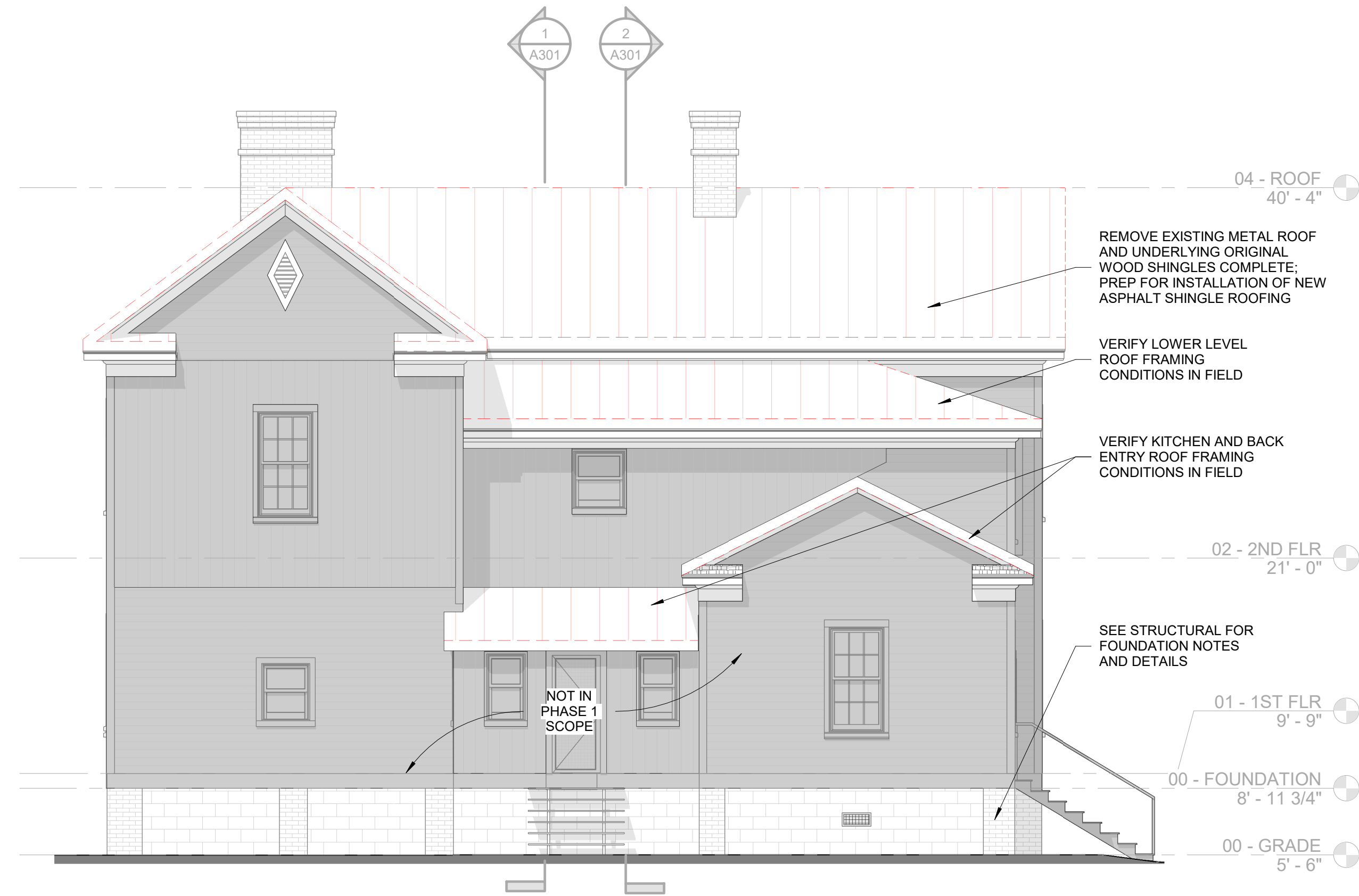
NOTES:

- SEE SHEET A002 FOR NOTES REGARDING EXTERIOR MILLWORK / WOODWORK; REFER TO SECTION 062012 "EXTERIOR FINISH CARPENTRY" FOR ADDITIONAL INFORMATION.

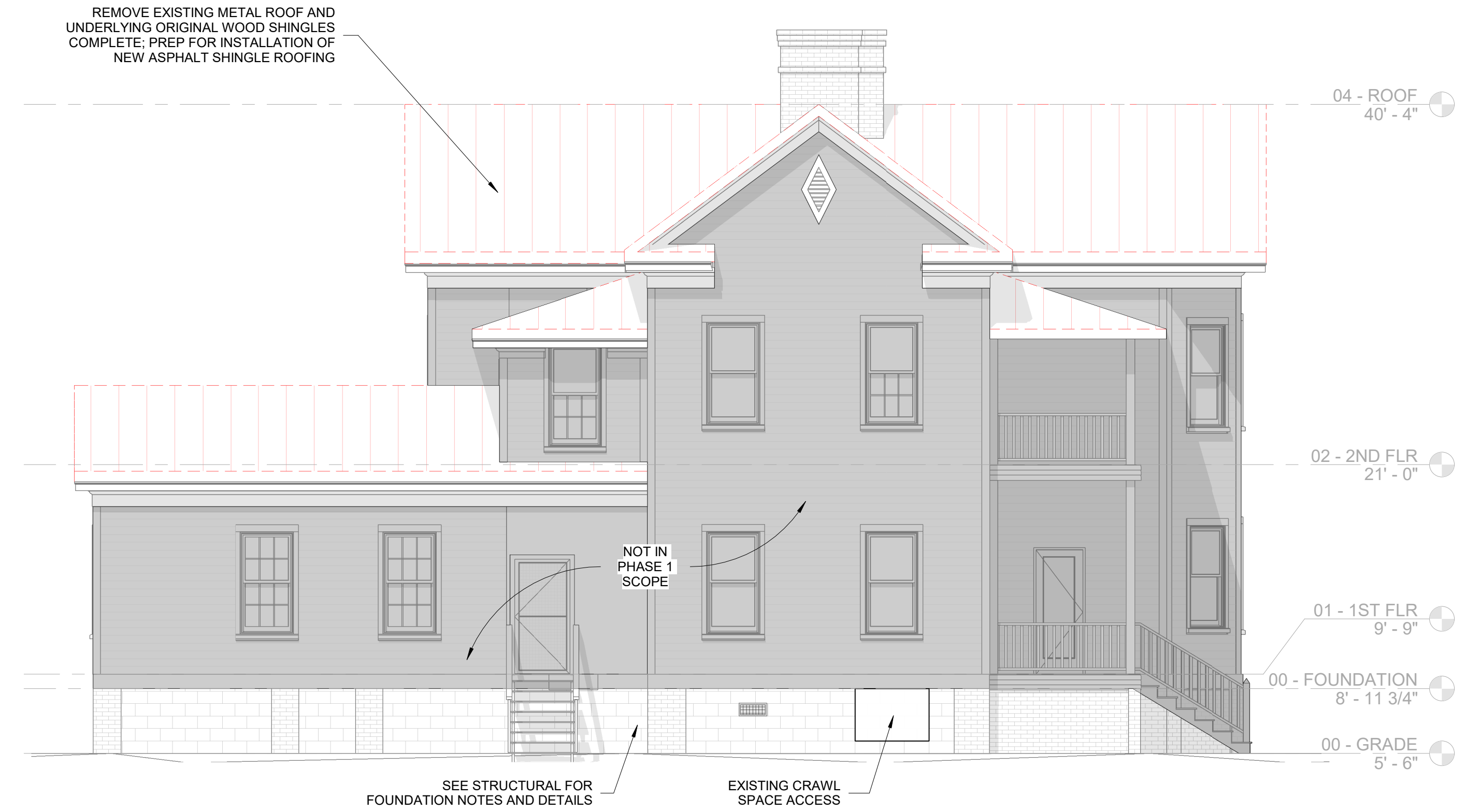
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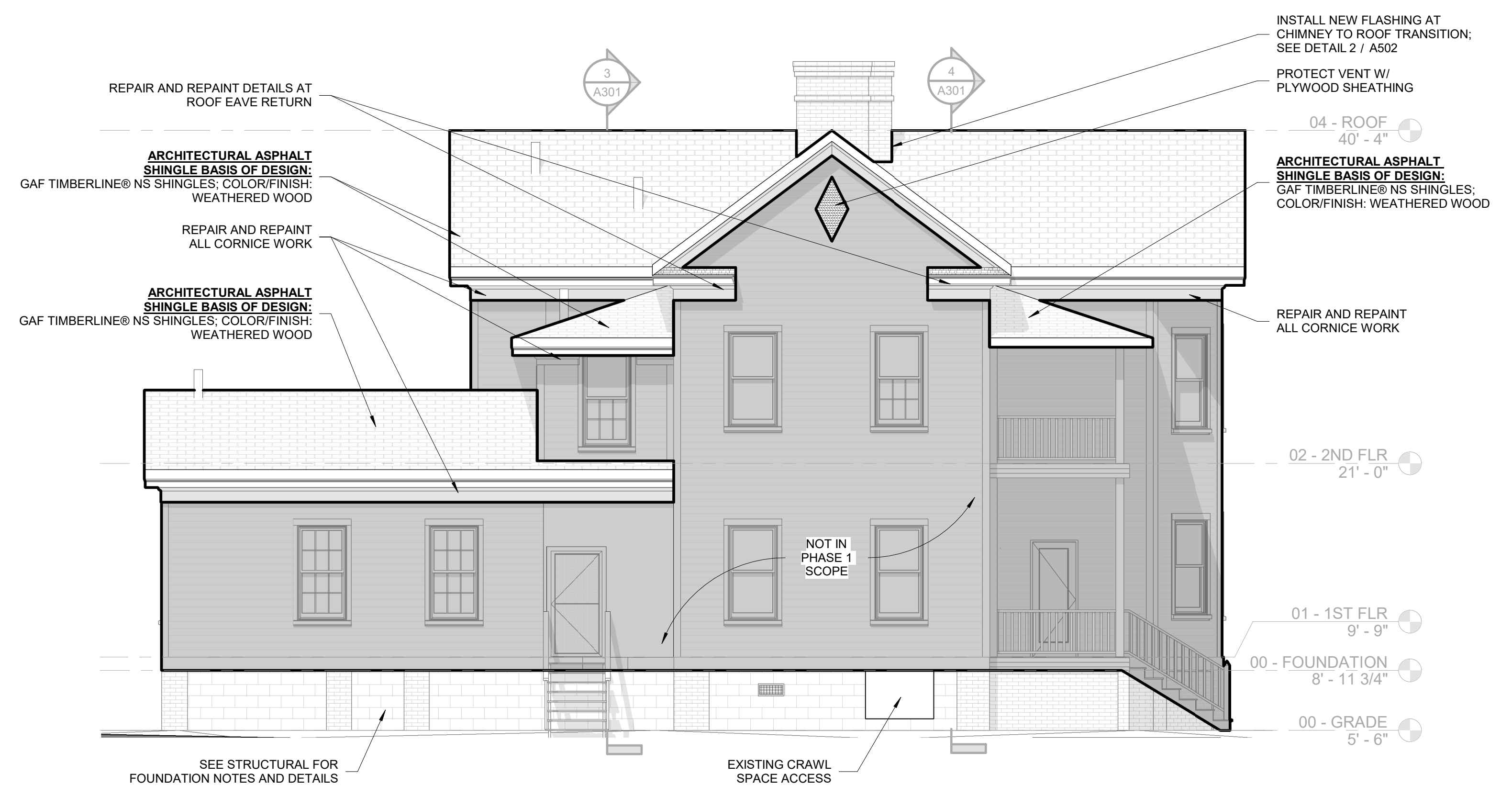
1 DEMOLITION WEST ELEVATION - PHASE 1
3/16" = 1'-0"



3 DEMOLITION SOUTH ELEVATION - PHASE 1
3/16" = 1'-0"



2 PROPOSED WEST ELEVATION - PHASE 1
3/16" = 1'-0"

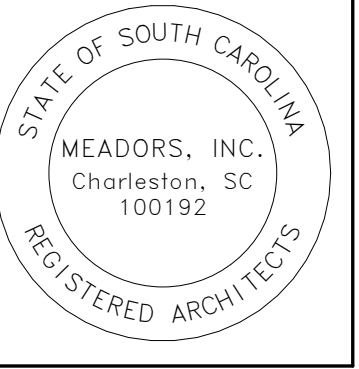
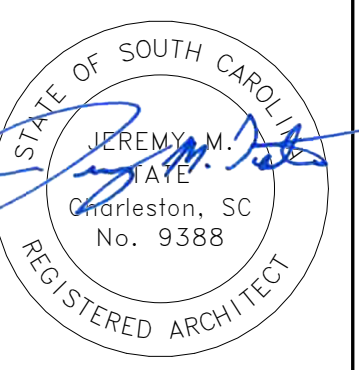


4 PROPOSED SOUTH ELEVATION - PHASE 1
3/16" = 1'-0"

MEADORS

SINCE 1984

2811 AZALEA DRIVE CHARLESTON, SC 29405



EPPS-MCGILL FARMHOUSE

679 Eastland Ave
Kingstree, South Carolina 29556

Construction Documents
-
PHASE 1

PROJ. NO. 20-0087
ISSUE DATE: 02.05.2024

REVISIONS

DATE NOTES

#	DATE	NOTES

DEMOLITION & PROPOSED BUILDING ELEVATIONS

A202

PRINTED ON 2/20/24 10:46:57 AM FILE LOCATION: C:\Users\Abbie_Gerry\Documents\200807_Epps-McGill_2021_10-101-Phase 1\01_Abbie\meadors.com.rvt

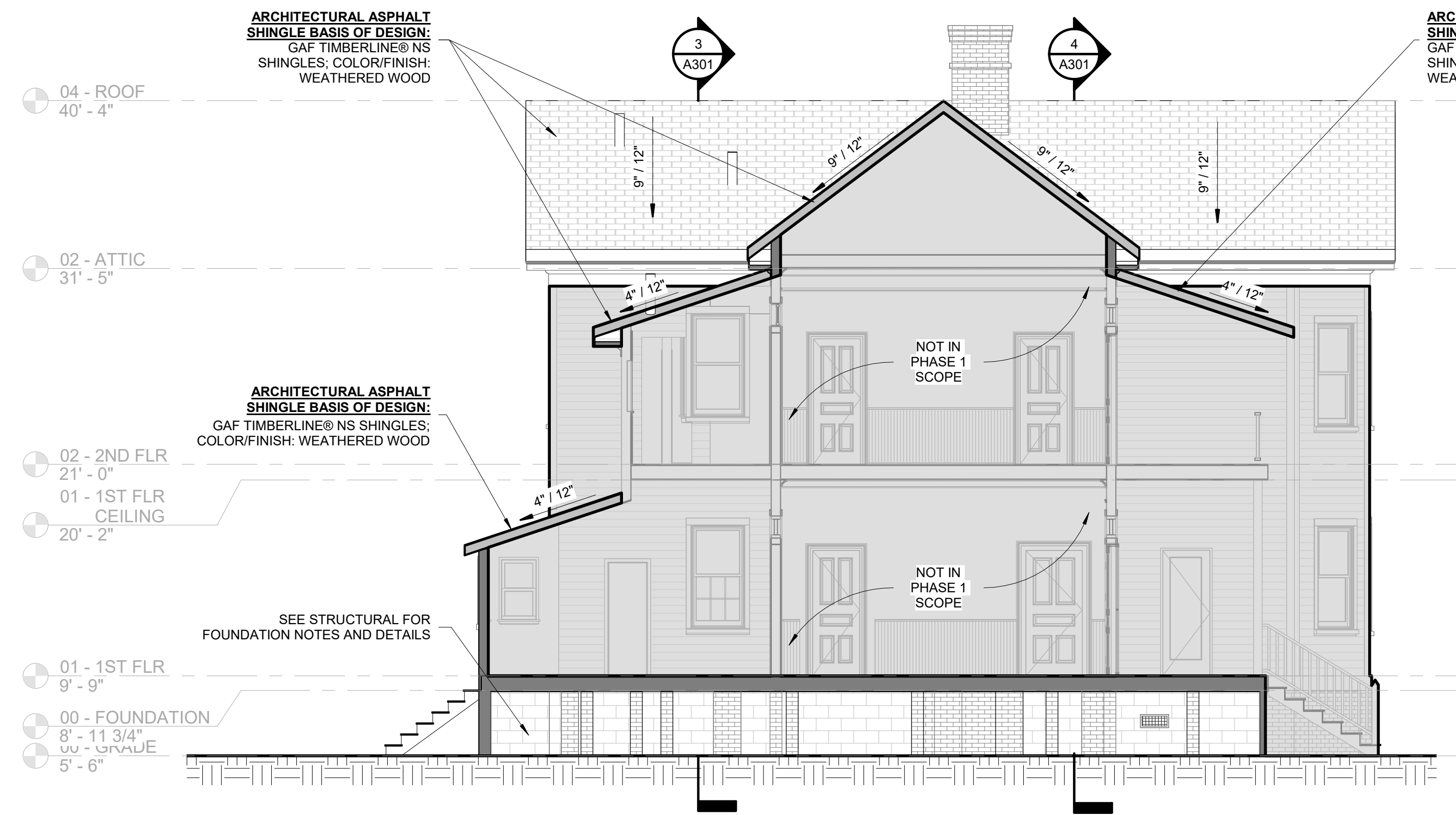
NOTES:

1. SEE STRUCTURAL FOR FRAMING AND FOUNDATION NOTES.
2. SEE SHEET A002 FOR NOTES REGARDING EXTERIOR MILLWORK / WOODWORK; REFER TO SECTION 062012 "EXTERIOR FINISH CARPENTRY" FOR ADDITIONAL INFORMATION.

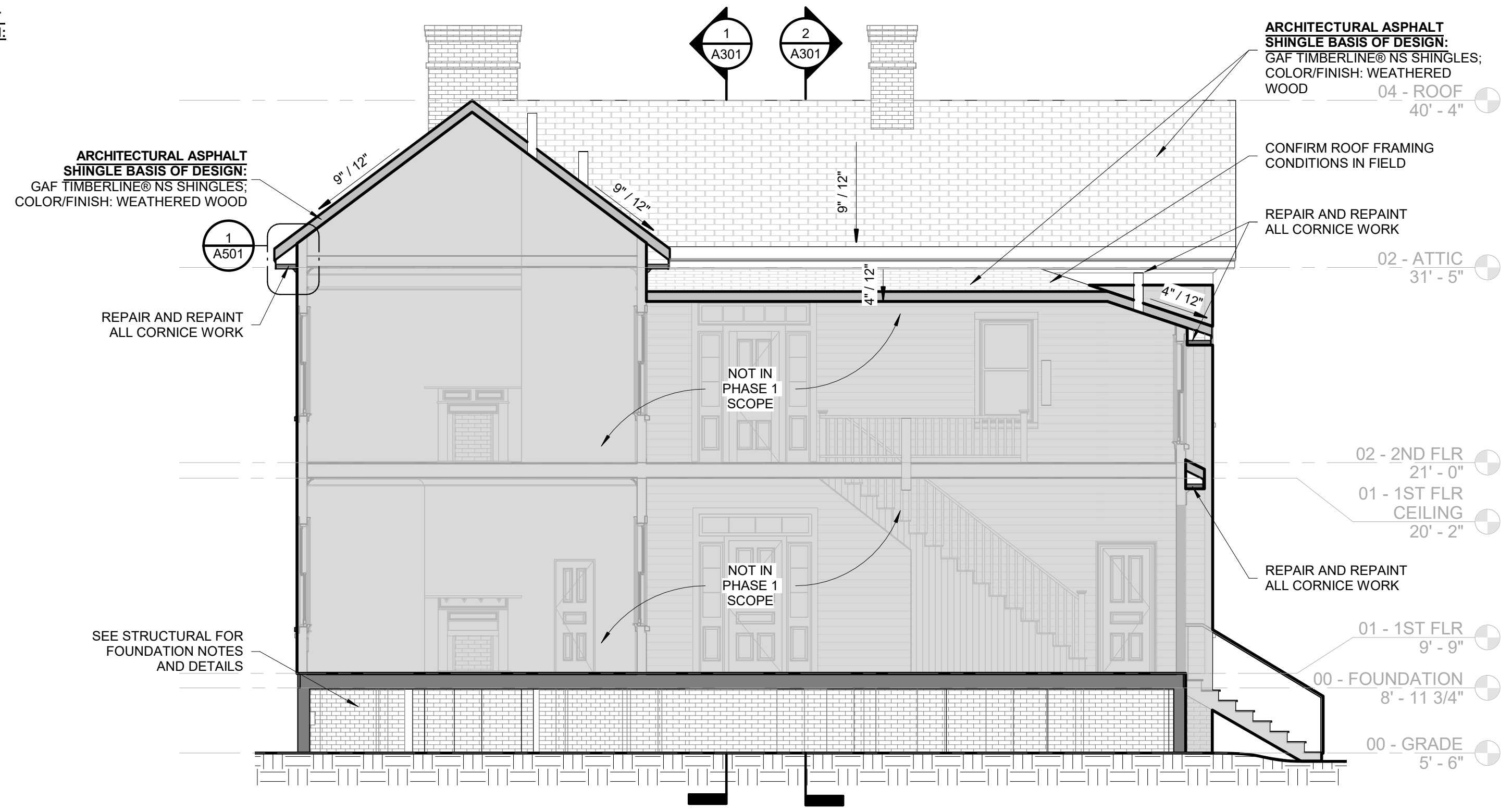
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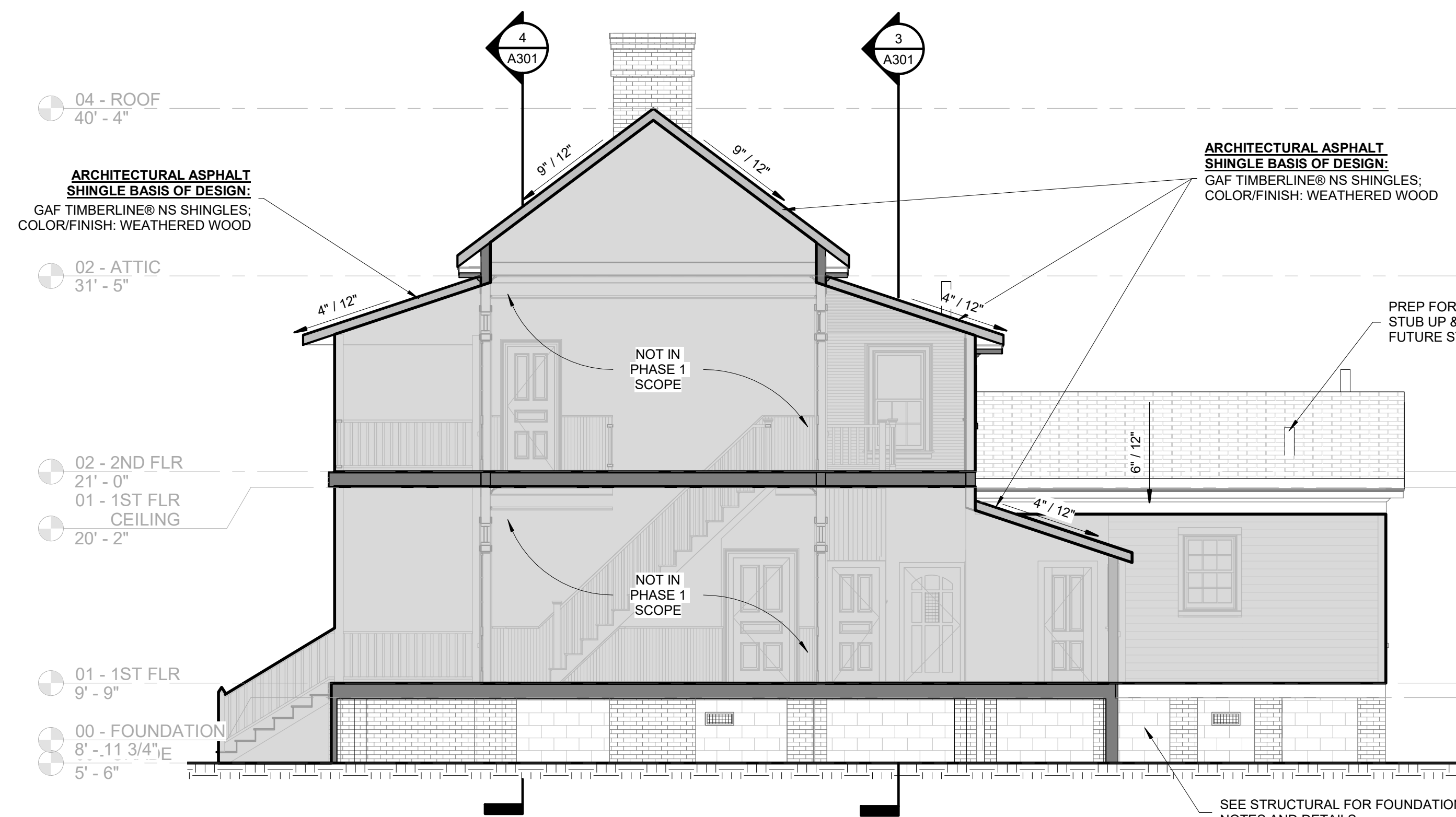
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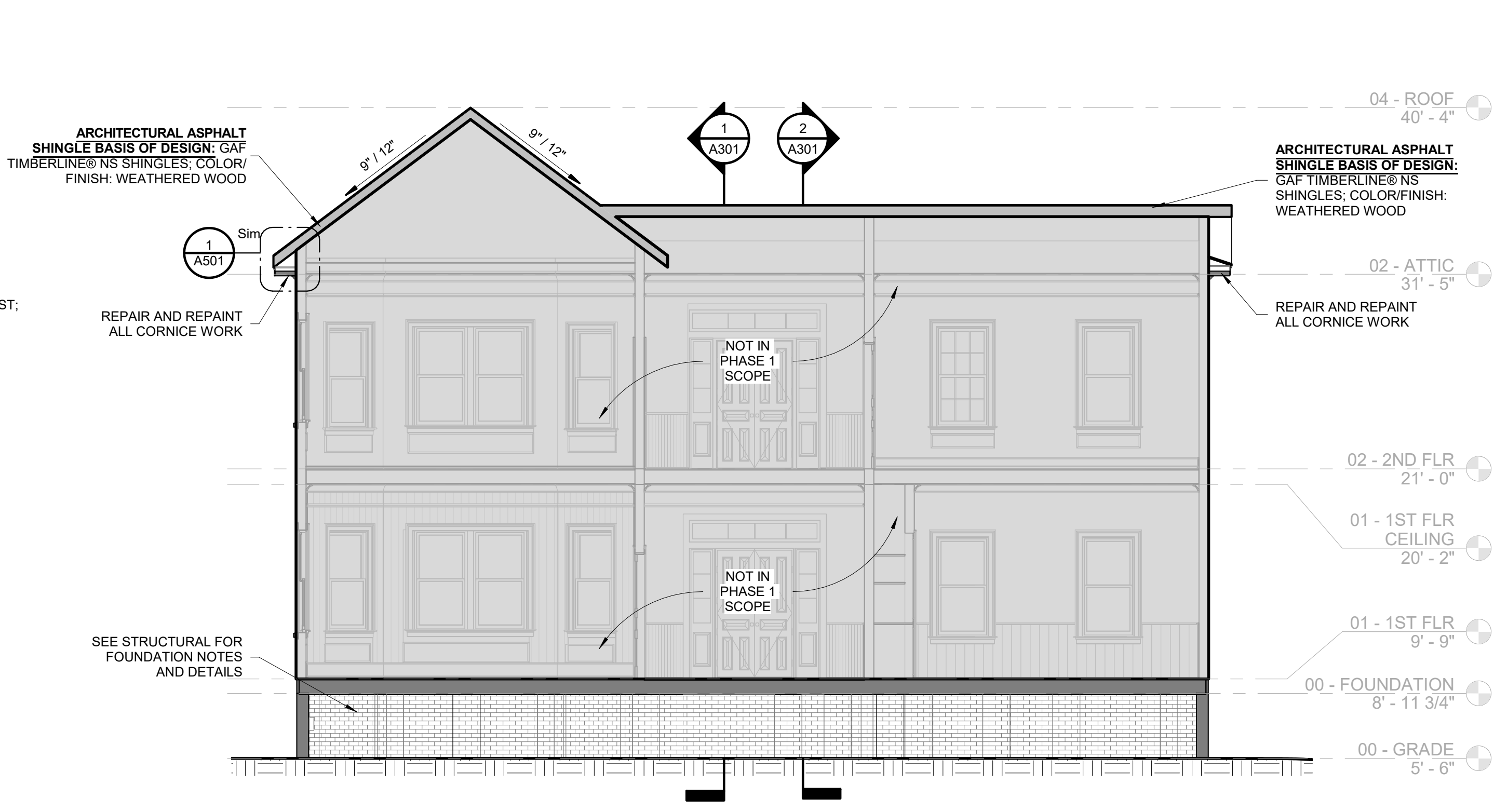
1 SECTION E/W #1 - PHASE 1
3/16" = 1'-0"



3 SECTION N/S #1 - PHASE 1
3/16" = 1'-0"



2 SECTION E/W #2 - PHASE 1
3/16" = 1'-0"

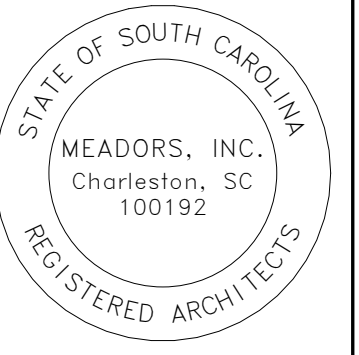
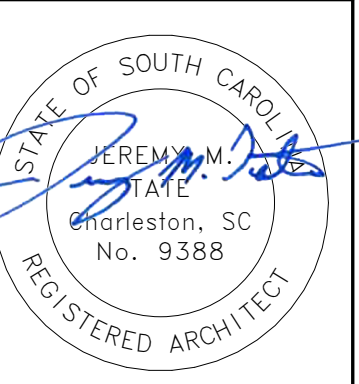


4 SECTION N/S #2 - PHASE 1
3/16" = 1'-0"

MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



EPPS-MCGILL FARMHOUSE

679 Eastland Ave
Kingstree, South Carolina 29566

Construction Documents
-
PHASE 1

PROJ. NO. 20-0087
ISSUE DATE: 02.05.2024

REVISIONS

#	DATE	NOTES
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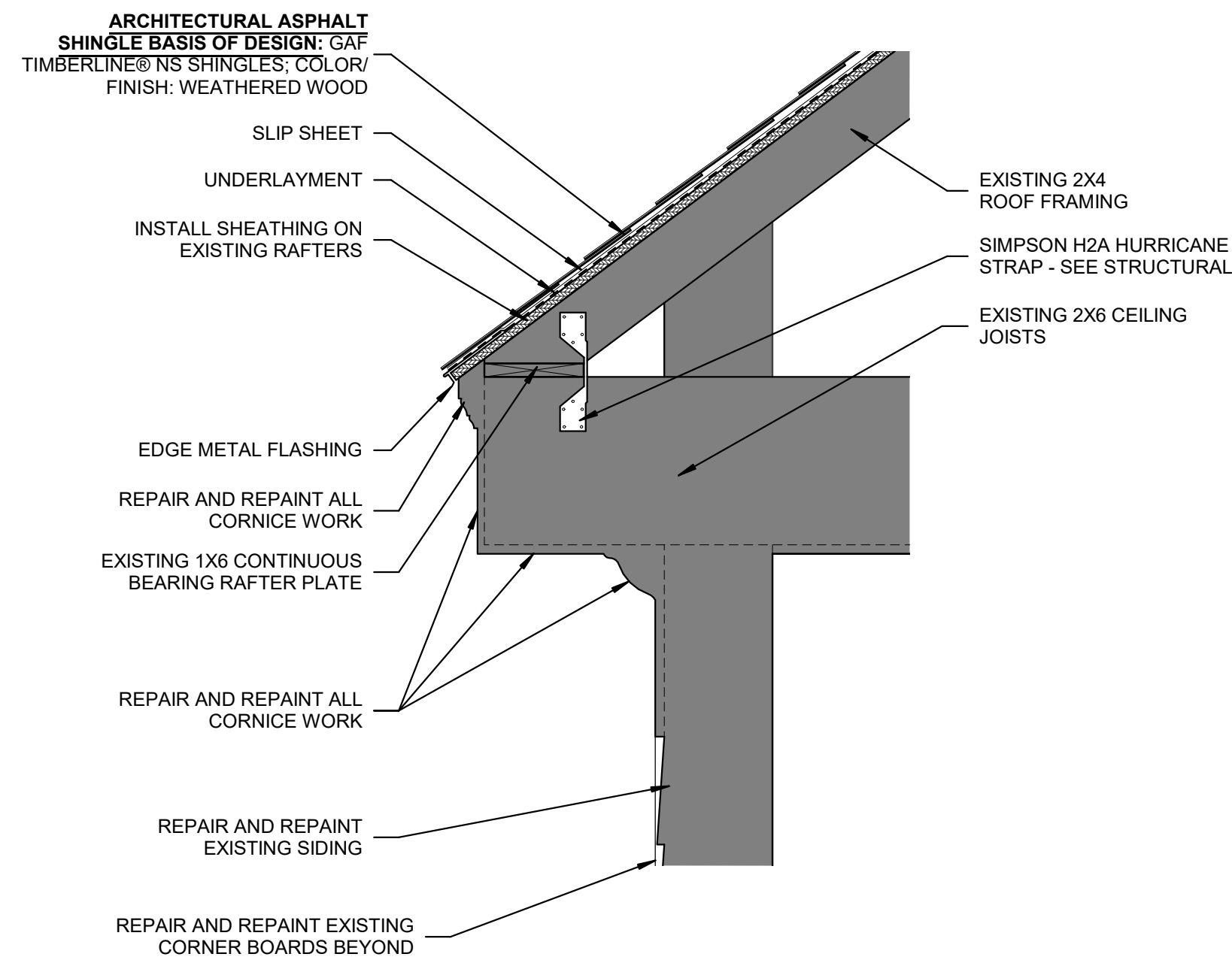
#	DATE	NOTES

BUILDING SECTIONS

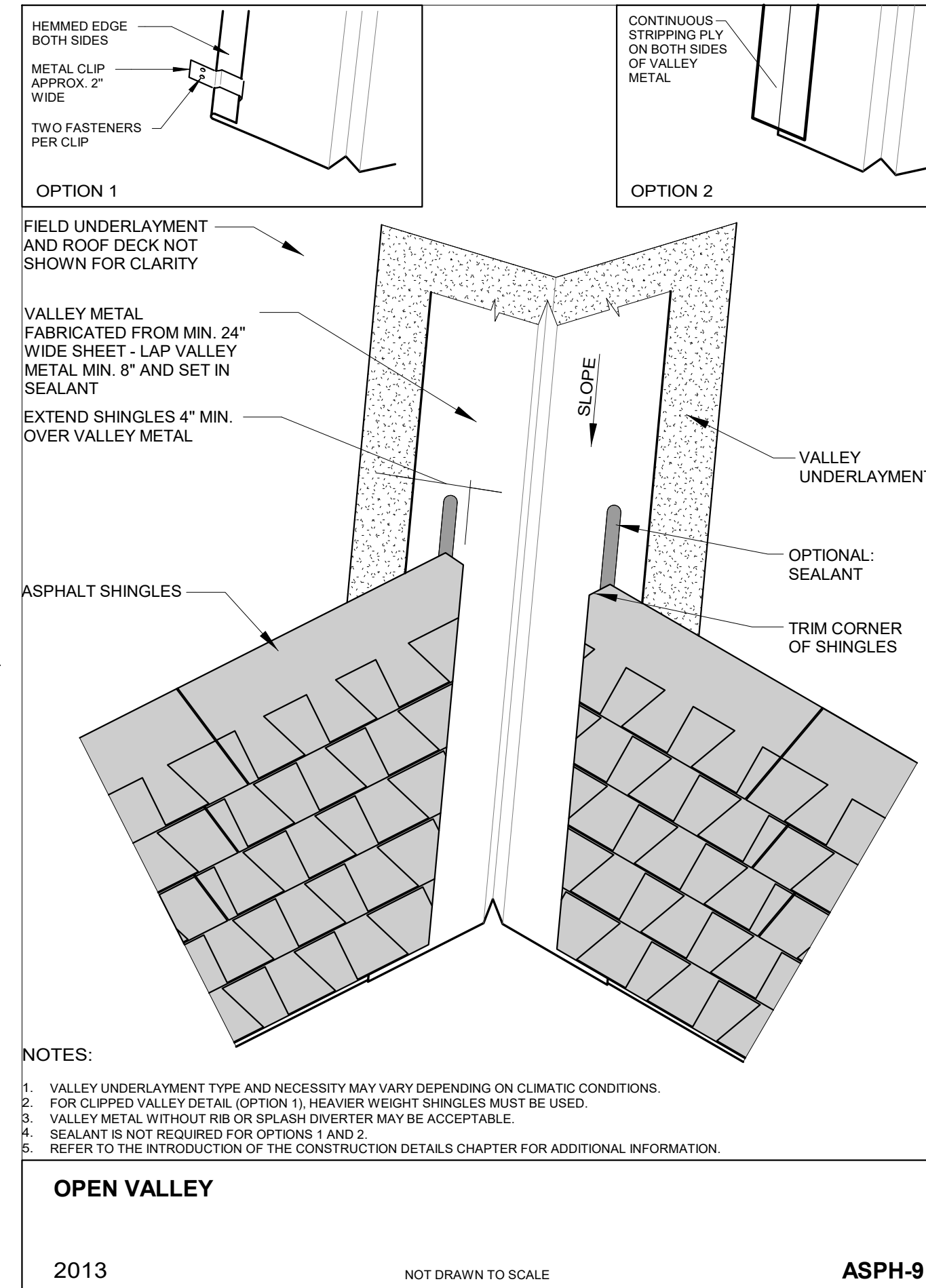
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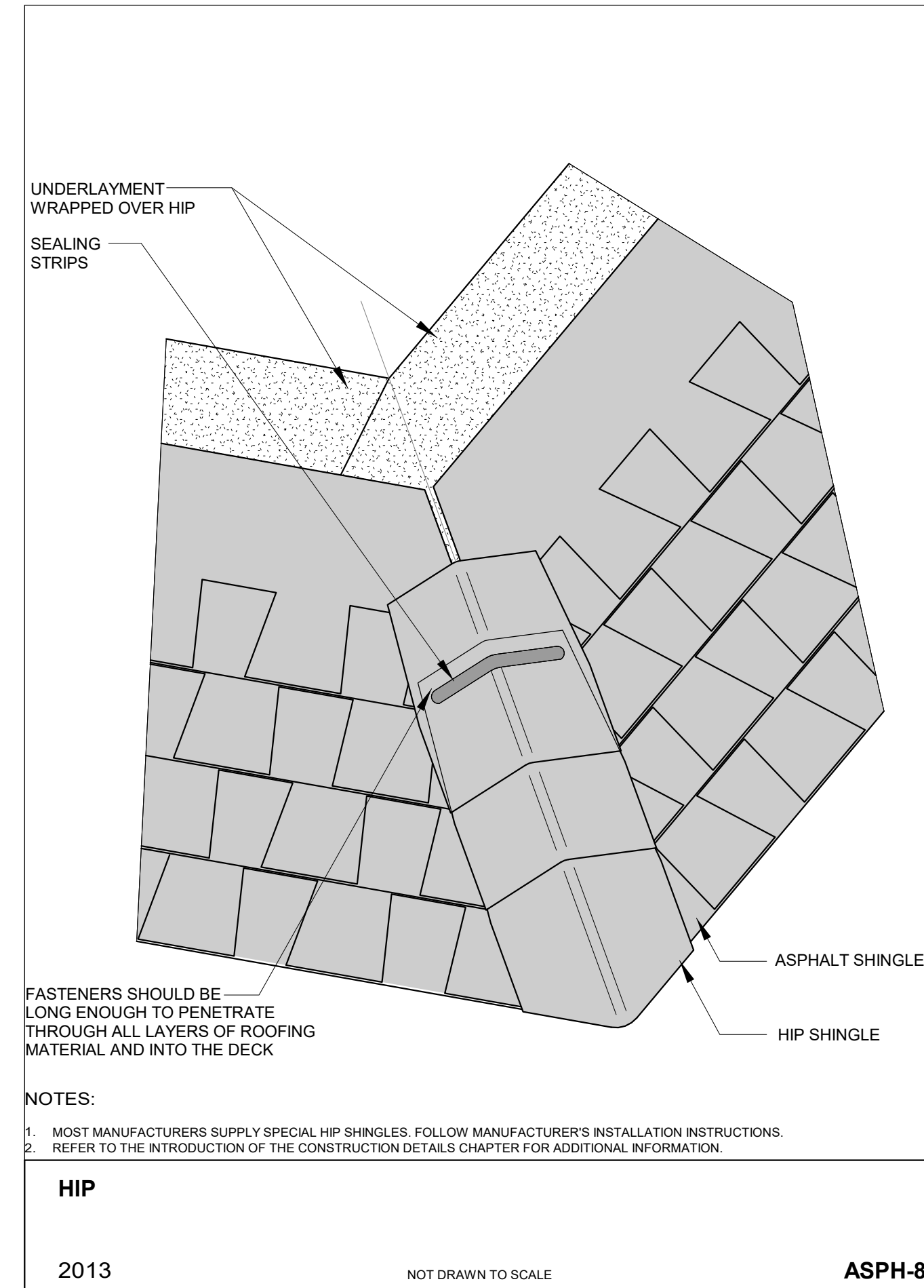
ARCHITECTURAL ASPHALT SHINGLE BASIS OF DESIGN:
GAF TIMBERLINE® NS SHINGLES;
COLOR/FINISH: WEATHERED WOOD



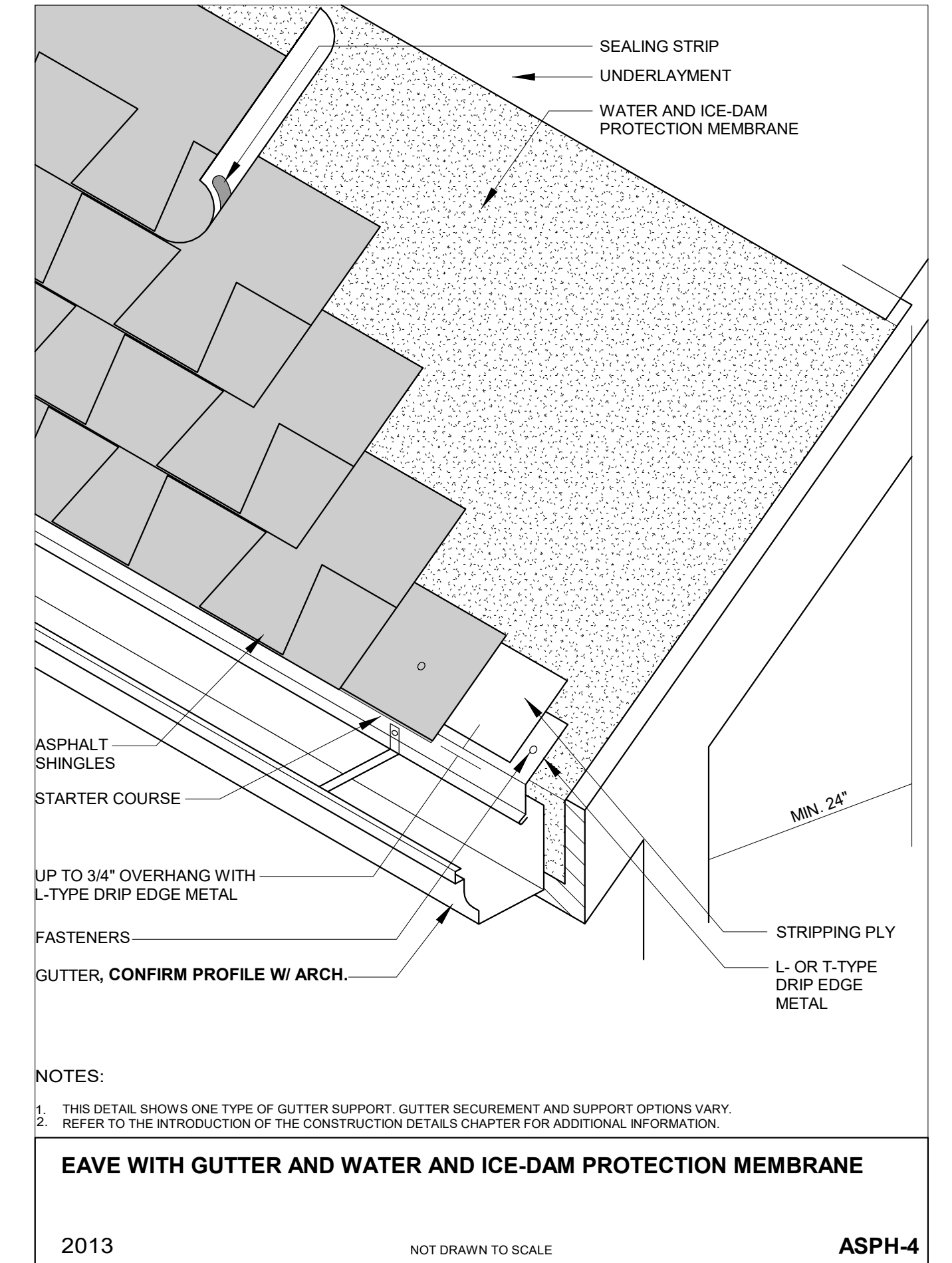
1 EAVE DETAIL
 1 1/2" = 1'-0"



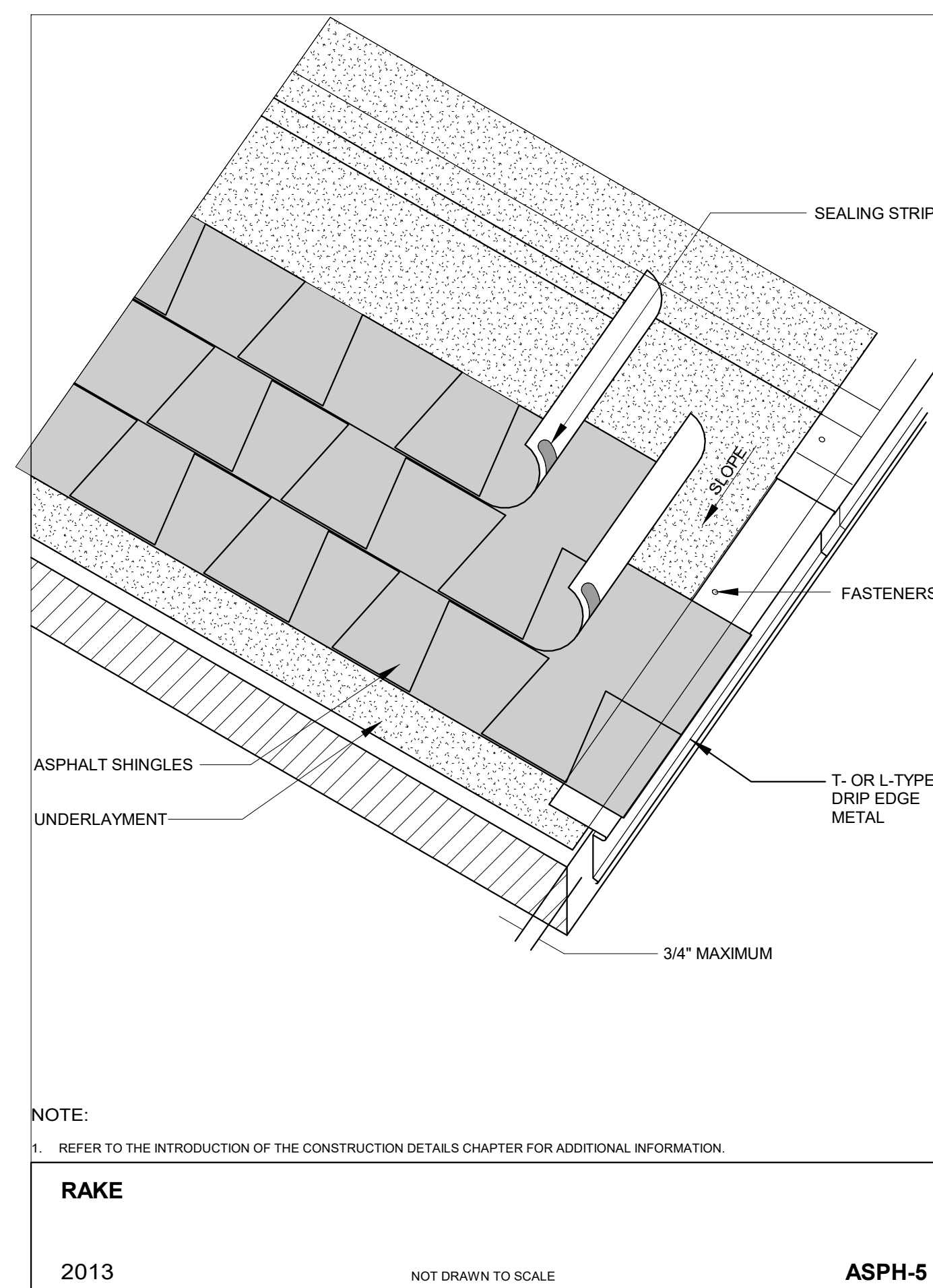
2 NCRA ASPH-9 Open Valley
 12" = 1'-0"



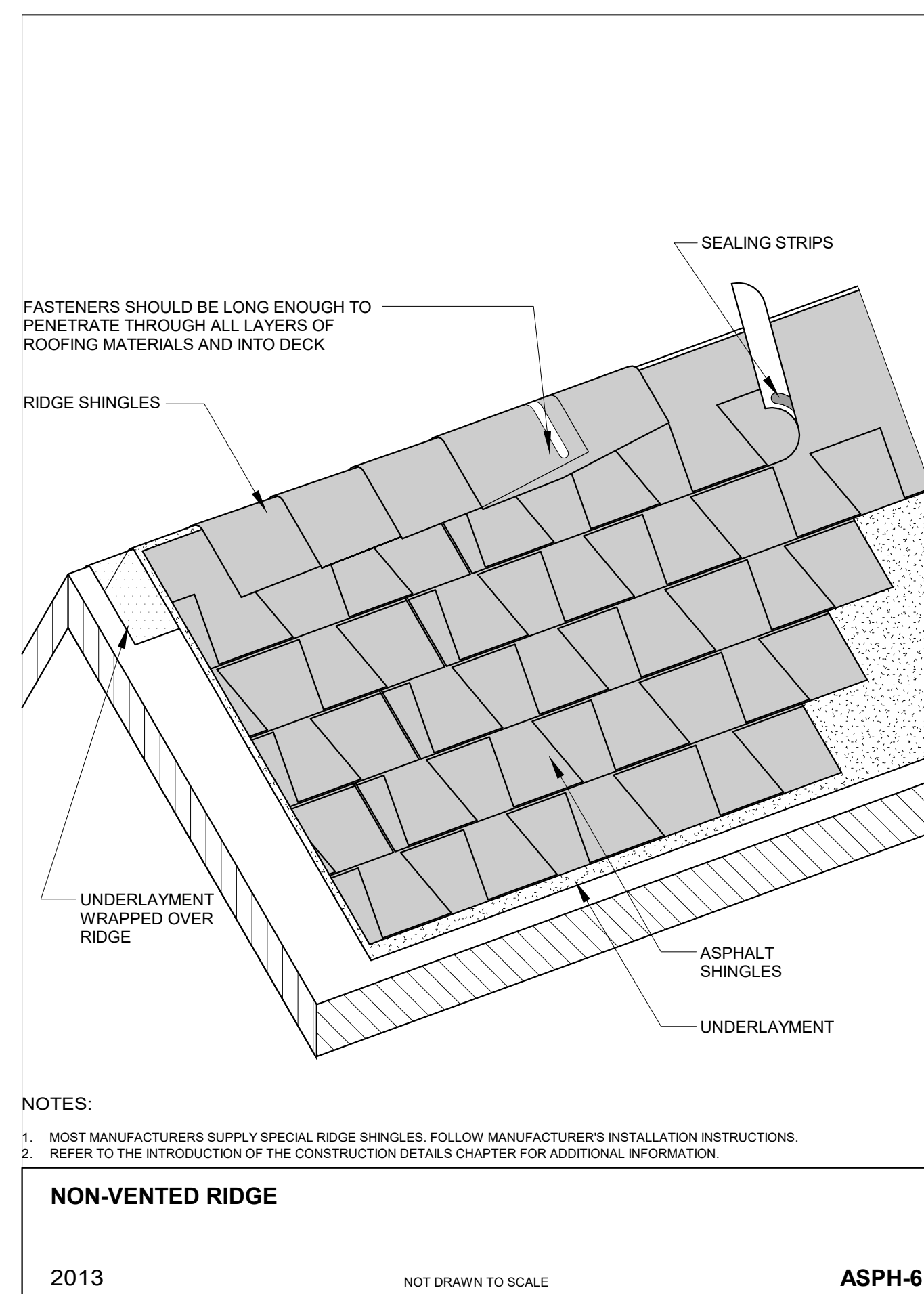
3 NCRA ASPH-8 Hip
 12" = 1'-0"



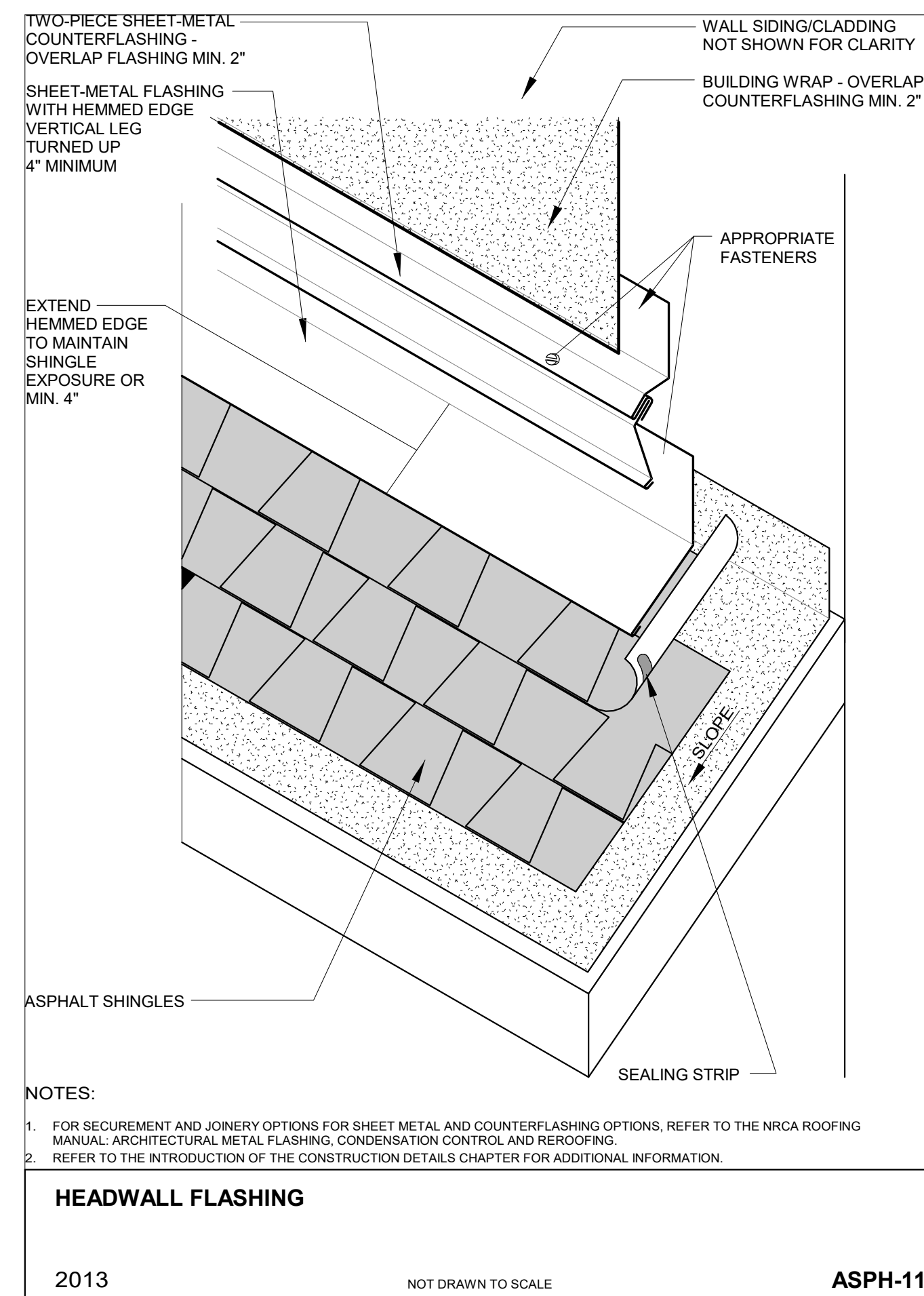
4 NCRA ASPH-4 Eave with Gutter
 12" = 1'-0"



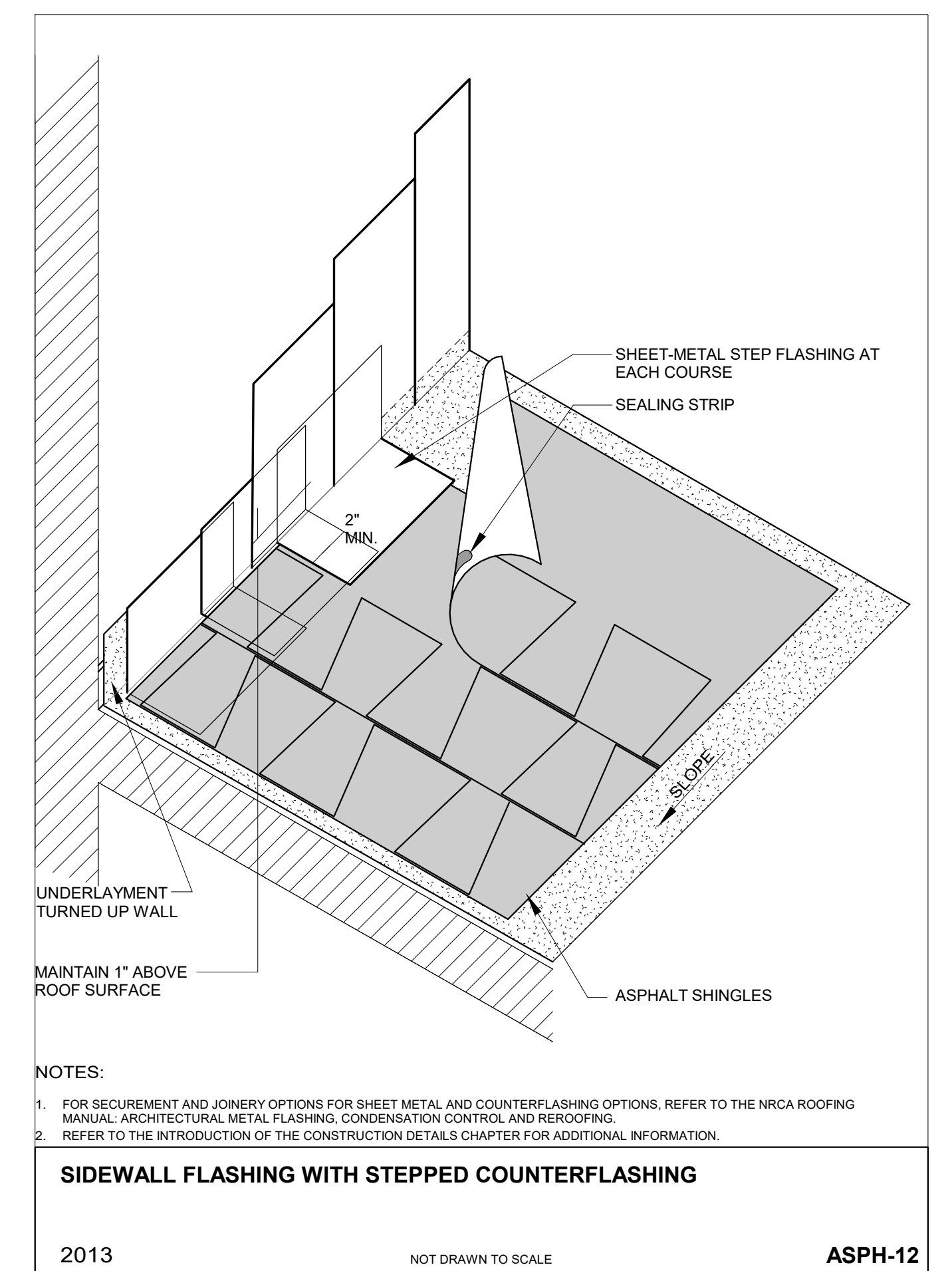
5 NCRA ASPH-5 Rake
 12" = 1'-0"



6 NCRA ASPH-6 Non-Vented Ridge
 12" = 1'-0"



7 NCRA ASPH-11 Headwall Flashing
 12" = 1'-0"

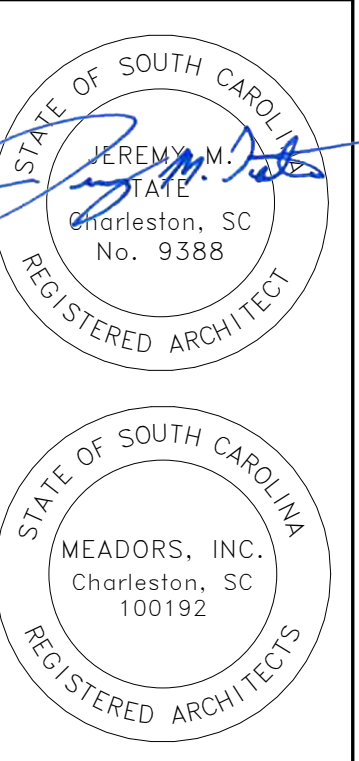


8 NCRA ASPH-12A Stepped Flashing
 12" = 1'-0"

MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



EPPS-MCGILL FARMHOUSE

679 Eastland Ave
 Kingstree, South Carolina 29566

Construction Documents
 PHASE 1

PROJ. NO. 20-0087
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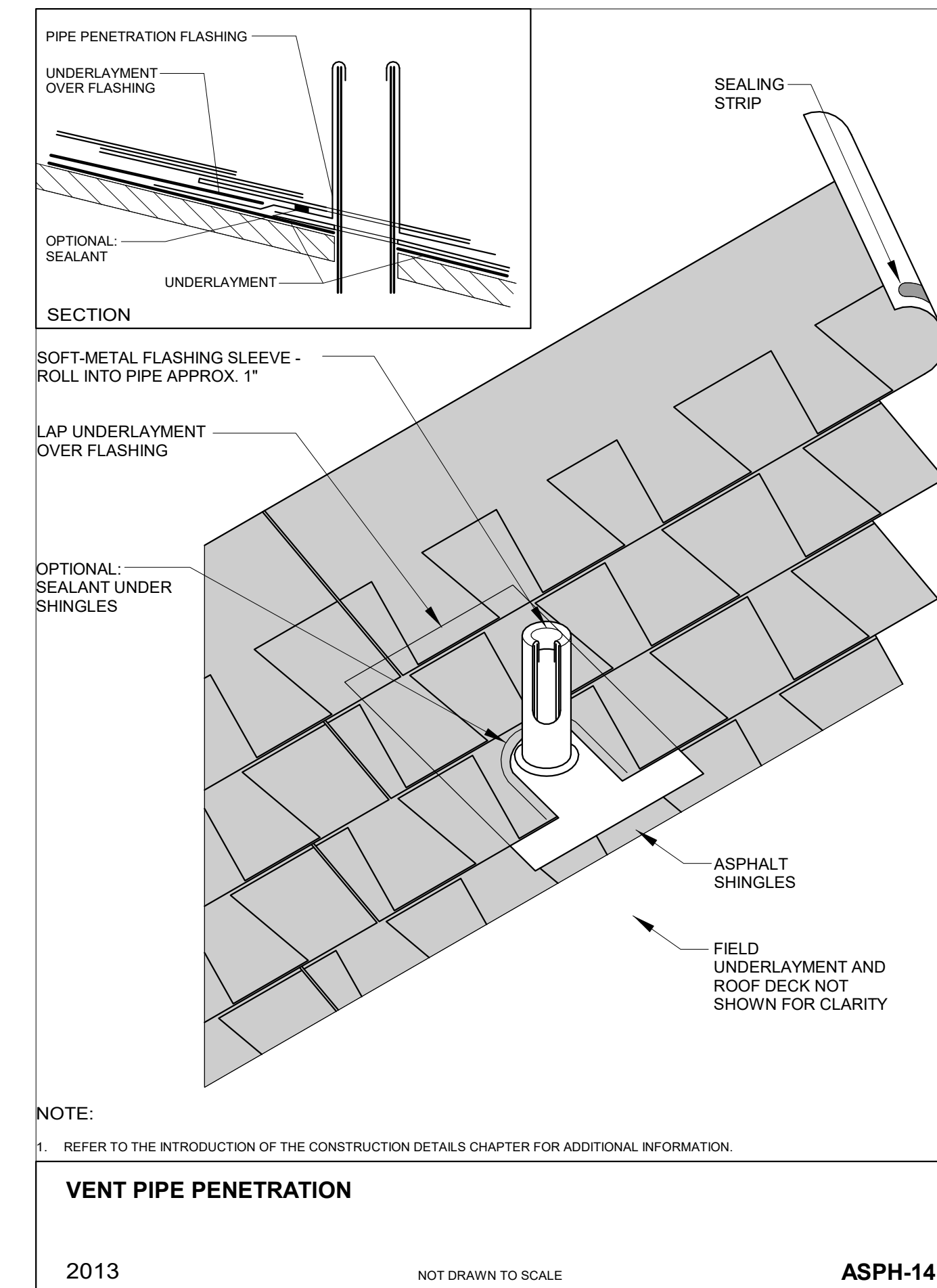
REVISIONS

#	DATE	NOTES

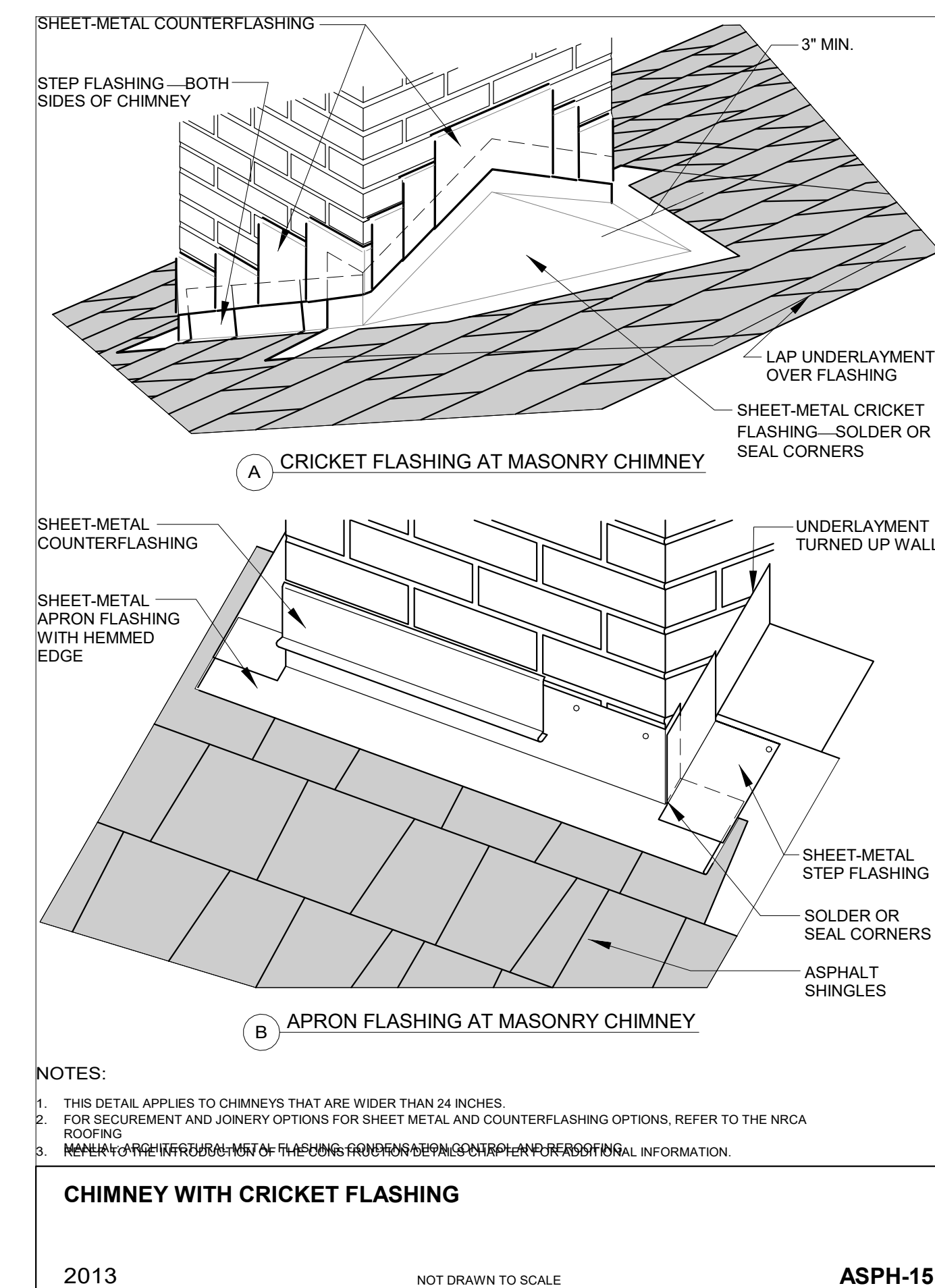
ROOF AND FLASHING DETAILS

A501

**ARCHITECTURAL ASPHALT
SHINGLE BASIS OF DESIGN:
GAF TIMBERLINE® NS SHINGLES;
COLOR/FINISH: WEATHERED WOOD**



1 NCRA ASPH-14 Vent Pipe Penetration
12" = 1'-0"



2 NCRA ASPH-13 Chimney w/ Cricket Flashing
12" = 1'-0"

MEADORS
SINCE 1984
2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585

STATE OF SOUTH CAROLINA
PERMITS
Charleston, SC
No. 9388
REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA
MEADORS, INC.
Charleston, SC
100192
REGISTERED ARCHITECTS

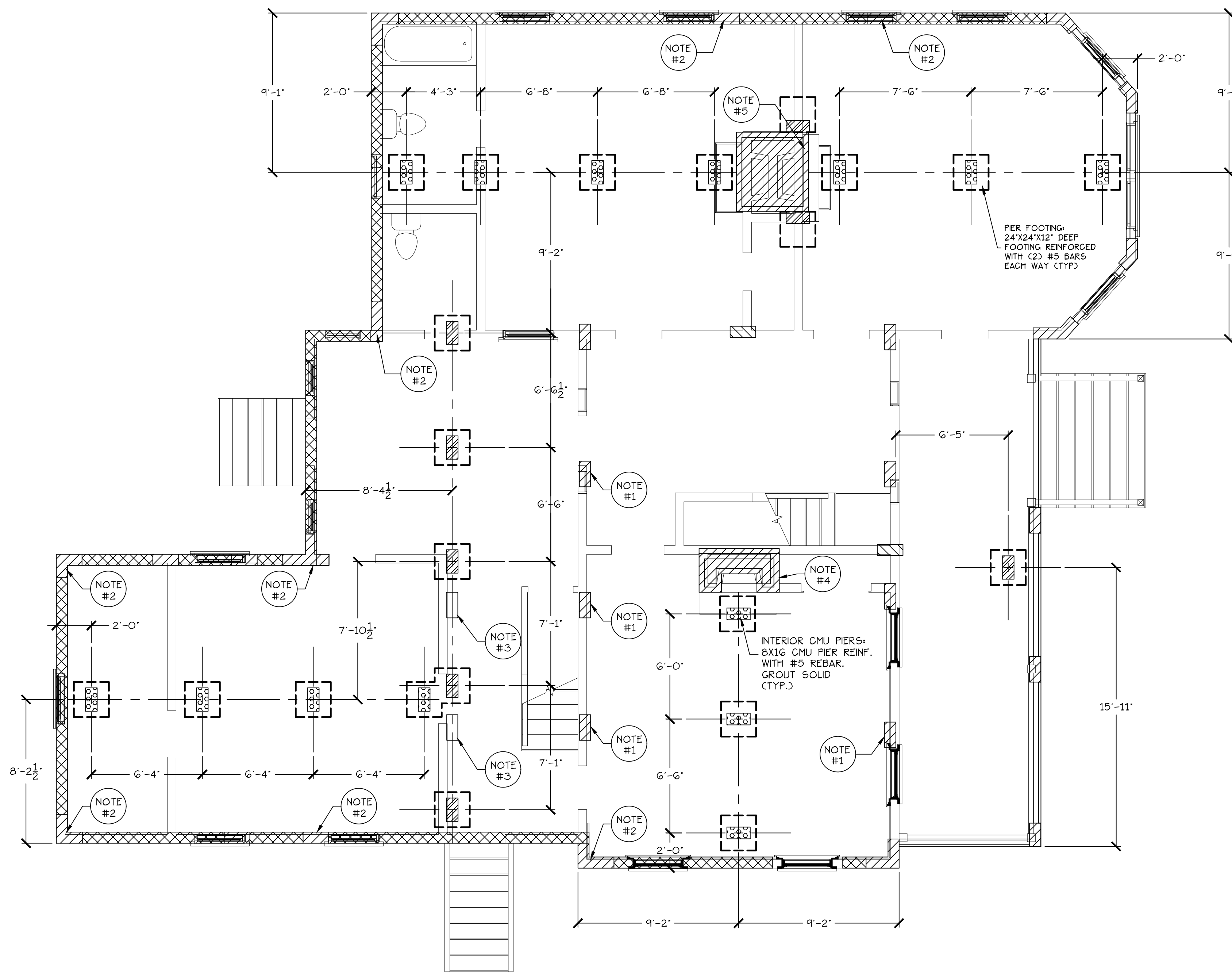
**EPPS-MCGILL
FARMHOUSE**
679 Eastland Ave
Kingstree, South Carolina 29566

Construction Documents
-
PHASE 1

PROJ. NO. 20-0087
ISSUE DATE: 02.05.2024

REVISIONS		
#	DATE	NOTES

ROOF AND FLASHING DETAILS
A502



NOTE:

1. CONTRACTOR TO COORDINATE LOCATION OF ALL LOAD BEARING WALLS WITH FOUNDATION PLAN PROVIDED BY ENGINEER. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN FOUNDATION PLAN AND LOCATION OF INTERIOR AND EXTERIOR LOAD BEARING WALLS.

NOTE:

ALL DIMENSIONS TO BE VERIFIED WITH LATEST ARCHITECTURAL DRAWINGS AND IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.

FOUNDATION PIER NOTES:

- NOTE #1: EXISTING INTERIOR BRICK MASONRY PIER:
MORTAR JOINT LOSS AND SPALLING OF BRICK SURFACE OBSERVED AT EXISTING BRICK FOUNDATION PIER. REMOVE EXISTING DAMAGED BRICK AND REPLACE WITH NEW BRICK MASONRY OF SIMILAR DIMENSION. MORTAR JOINTS AT BRICK MASONRY ARE TO BE REPOINTED WITH COMPATIBLE MORTAR AS REQUIRED.
G.C. OPTION TO REMOVE EXISTING PIER AND REPLACE WITH NEW 8X16 CMU FOUNDATION PIER ON ISOLATED FOOTING AS SHOWN.
- NOTE #2: EXISTING EXTERIOR BRICK MASONRY PIER:
MORTAR JOINT LOSS AND SPALLING OF BRICK SURFACE OBSERVED AT EXISTING BRICK FOUNDATION PIER. REMOVE EXISTING DAMAGED BRICK AND REPLACE WITH NEW BRICK MASONRY OF SIMILAR DIMENSION. MORTAR JOINTS AT BRICK MASONRY ARE TO BE REPOINTED WITH COMPATIBLE MORTAR AS REQUIRED.
- NOTE #3: EXISTING INTERIOR BRICK MASONRY PIER:
EXISTING DRY STACK MASONRY PIER. REMOVE EXISTING PIER FOLLOWING INSTALLATION OF NEW 8X16 CMU FOUNDATION PIER ON ISOLATED FOOTING AS SHOWN. VERIFY NO BEAM SPLICE EXISTS AT DRY STACK PRIOR TO REMOVAL.
- NOTE #4: EXISTING FIREPLACE BRICK MASONRY:
MORTAR JOINT LOSS OBSERVED AT EXISTING BRICK FIREPLACE. MORTAR JOINTS AT BRICK MASONRY ARE TO BE REPOINTED WITH COMPATIBLE MORTAR AS REQUIRED.
- NOTE #5: EXISTING FIREPLACE BRICK MASONRY:
LARGE SEPARATION CRACK IN BRICK MASONRY NOTED AT BASE OF FIREPLACE. REMOVE EXISTING DAMAGED BRICK AND REPLACE WITH NEW BRICK MASONRY OF SIMILAR DIMENSION. REPOINT WITH COMPATIBLE MORTAR AS REQUIRED.

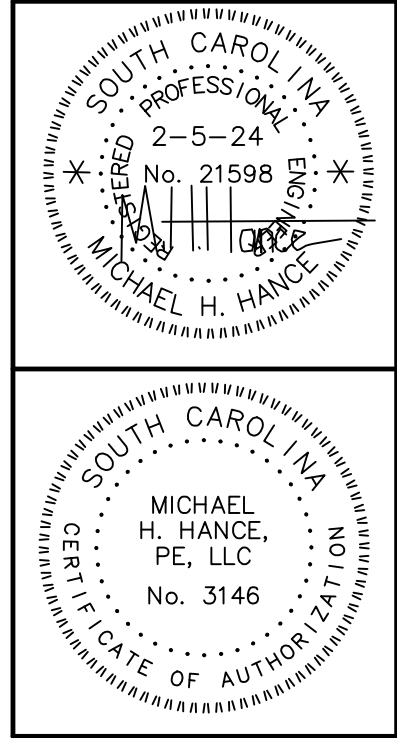
KEY:

----- INDICATES CENTERLINE OF 8'X16' CMU PIER UNLESS OTHERWISE NOTED

CMU PIER/FOUNDATION WALL LEGEND

- NEW INTERIOR CMU PIERS AT DROPPED GIRDER: 8X16 REINFORCED CMU PIER GROUT SOLID. TOP OF BLOCK: -1 1/2" BELOW BOTTOM OF DROPPED GIRDER. SEE 1/52 FOR DROPPED GIRDER FRAMING PLAN.
- NEW INTERIOR CMU PIERS AT EXISTING GIRDER: 8X16 REINFORCED CMU PIER GROUT SOLID. TOP OF BLOCK: -1 1/2" BELOW BOTTOM OF EXISTING GIRDER. SEE 1/53 FOR 1ST FLOOR FRAMING PLAN.
- EXISTING FOUNDATION STRUCTURE: EXISTING EXTERIOR 8' CMU BLOCK FOUNDATION WALL.
- EXISTING FOUNDATION STRUCTURE: EXISTING EXTERIOR AND INTERIOR BRICK MASONRY PIERS AND FIREPLACE BRICK MASONRY.

REV	DATE	DESCRIPTION

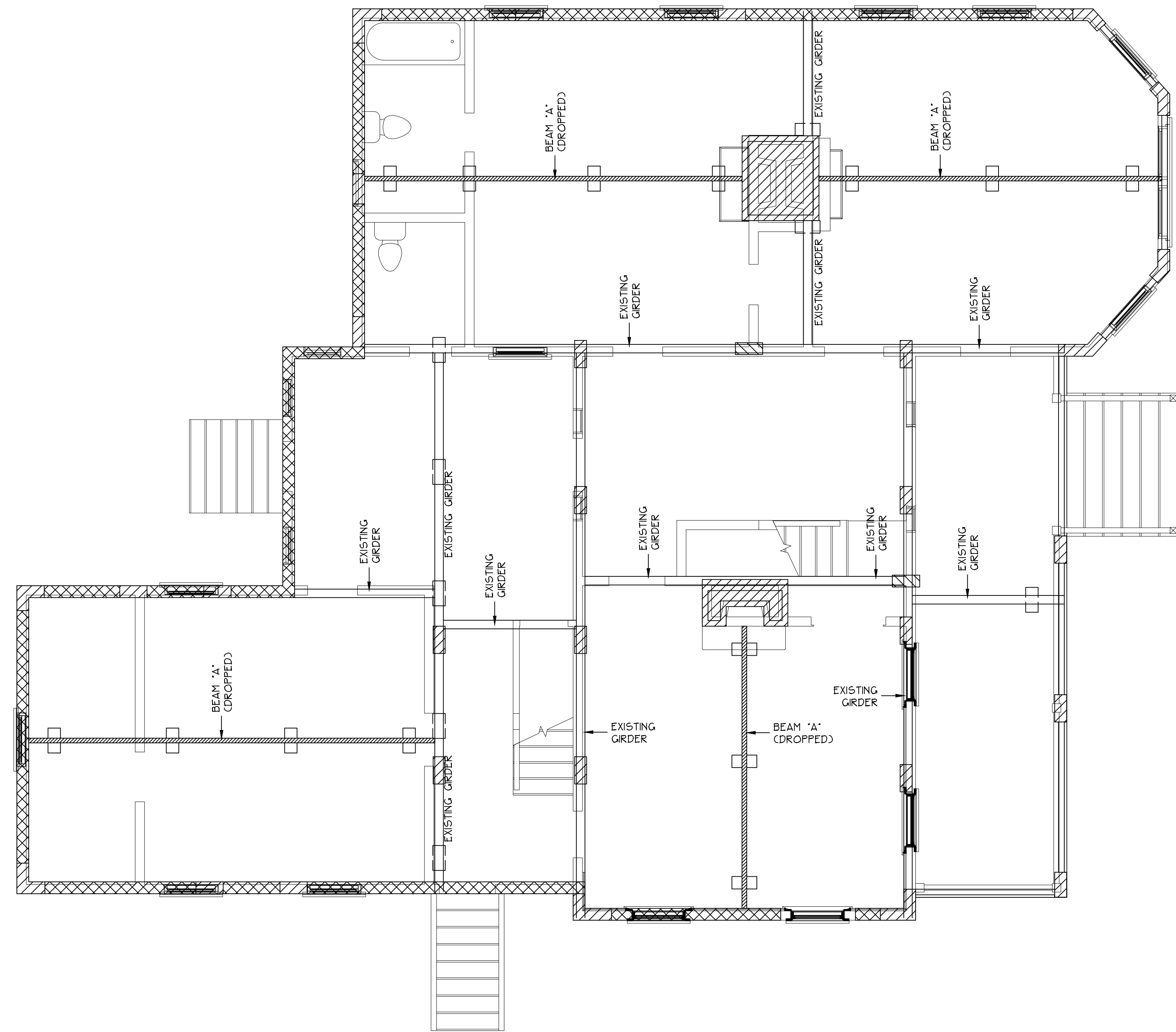


MICHAEL H. HANCE, PE LLC
STRUCTURAL ENGINEER
1133 Club Terrace
Mount Pleasant, South Carolina 29464
MT. PLEASANT OFFICE: (843) 856-2649

SCALE: AS SHOWN
DRAWN: MHH
DESIGN: MHH
APP'D: MHH
DEPT.: STRUCTURAL

PROJECT
EPPS-MCGGILL FARMHOUSE
679 EASTLAND AVENUE
KINGSTREE, SC

TITLE
FOUNDATION PLAN



NOTE:

1. CONTRACTOR TO COORDINATE LOCATION OF ALL LOAD BEARING WALLS WITH FOUNDATION PLAN PROVIDED BY ENGINEER. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN FOUNDATION PLAN AND LOCATION OF INTERIOR AND EXTERIOR LOAD BEARING WALLS.

NOTE:

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KEY:

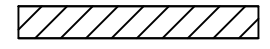
 DROPPED GIRDER. SEE BEAM SCHEDULE FOR SIZE AND DEPTH.

BEAM SCHEDULE:

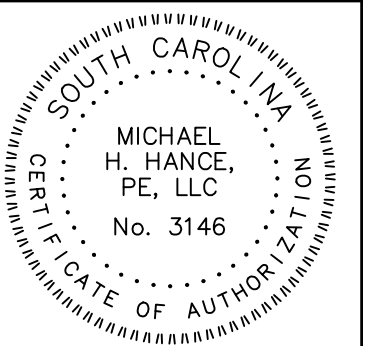
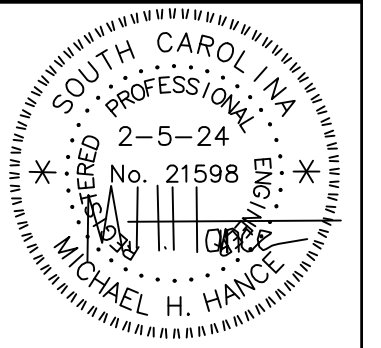
BEAM "A" - (C3) 2X8 SYP #2 BEAM. (PRESS. TREATED DROPPED GIRDER). SEE 1/S2

CMU PIER/FOUNDATION WALL LEGEND

 EXISTING FOUNDATION STRUCTURE- EXISTING EXTERIOR 8' CMU BLOCK FOUNDATION WALL.

 EXISTING FOUNDATION STRUCTURE- EXISTING EXTERIOR AND INTERIOR BRICK MASONRY PIERS AND FIREPLACE BRICK MASONRY.

revision	date	description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		



MICHAEL H. HANCE, PE LLC
STRUCTURAL ENGINEER
 1133 Club Terrace
 Mount Pleasant, South Carolina 29464
 MT. PLEASANT OFFICE: (843) 856-2649

SCALE: AS SHOWN
 DRAWN: MHH
 DESIGN: MHH
 APP'D: MHH
 DEPT.: STRUCTURAL

PROJECT
EPPS-MCGGILL FARMHOUSE
679 EASTLAND AVENUE
KINGSTREE, SC
 TITLE
DROP. GIRDER FRAMING PLAN

EPPS-MCGGILL
PHASE 1

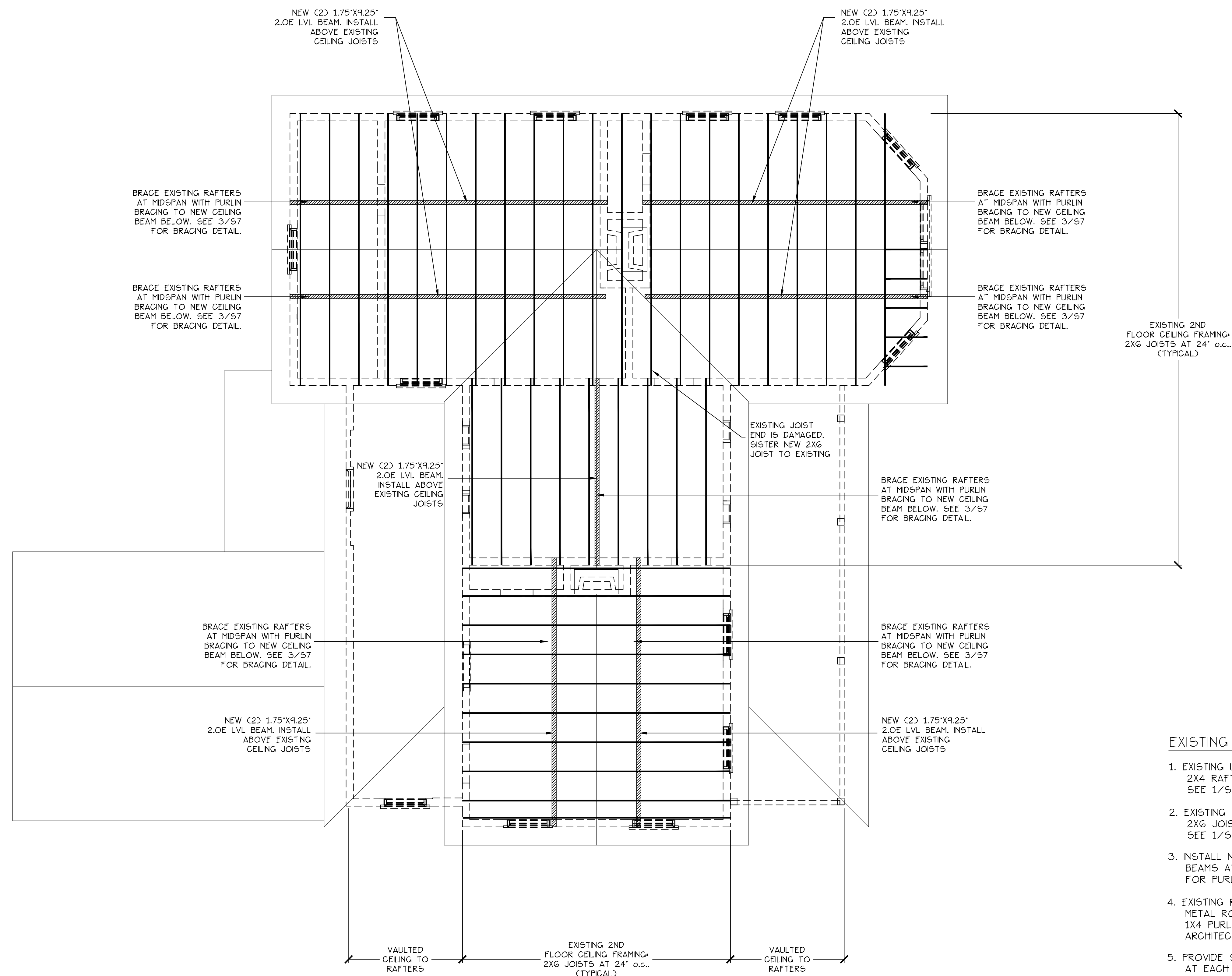
DWG NO:
S-2
 DATE:
February 5, 2024

NOTE:

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NOTE:

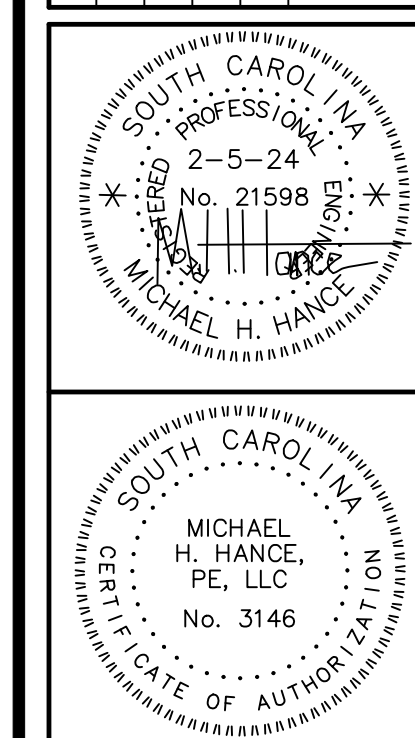
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EXISTING ROOF/CEILING FRAMING NOTES:

1. EXISTING UPPER ROOF FRAMING:
2X4 RAFTERS SPACED AT 24' o.c. +/-
SEE 1/56 FOR UPPER ROOF FRAMING LAYOUT.
2. EXISTING 2ND FLR. CEILING JOIST FRAMING:
2X6 JOISTS SPACED AT 24' o.c. +/-
SEE 1/55 FOR CEILING FRAMING LAYOUT.
3. INSTALL NEW PURLIN ROOF BRACING TO CEILING BEAMS AT MIDSPAN OF RAFTER. SEE 3/57 FOR PURLIN ROOF BRACING DETAIL.
4. EXISTING ROOF COVERING:
METAL ROOF PANELS OVER WOOD SHAKES OVER 1X4 PURLINS. VERIFY NEW ROOF COVERING WITH ARCHITECTURAL.
5. PROVIDE SIMPSON H2A HURRICANE TIE OR EQUAL AT EACH RAFTER TO CEILING JOIST CONNECTION. INSTALL HURRICANE TIE PER MFR. SPECIFICATION.
6. PROVIDE 2X6 COLLAR TIES AT UPPER THIRD OF RAFTER AT 48' o.c. MAXIMUM.

date	description
Fevri 07/2017	CHKD
08/2017	APPR



MICHAEL H. HANCE, PE LLC
STRUCTURAL ENGINEER
1133 Club Terrace
Mount Pleasant, South Carolina 29464
MT. PLEASANT OFFICE: (843) 856-2649

SCALE: AS SHOWN
DRAWN: MHH
DESIGN: MHH
APP'D: MHH
DEPT.: STRUCTURAL

PROJECT
EPPS-MCGGILL FARMHOUSE
679 EASTLAND AVENUE
KINGSTREE, SC

TITLE
2ND FLR CEILING FRMG PLAN

EPPS-MCGGILL
PHASE 1

DWG NO:
S-5

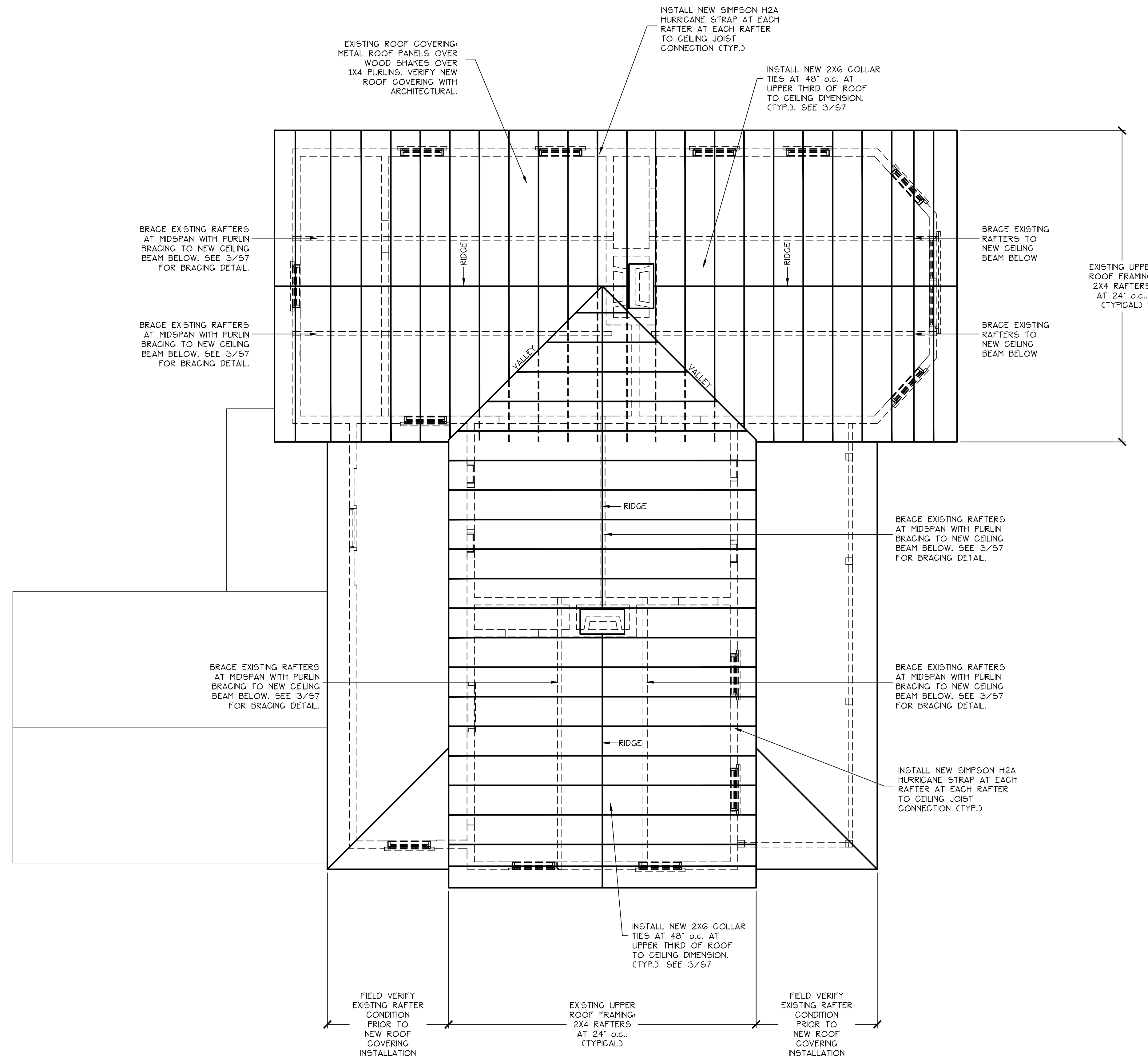
DATE:
February 5, 2024

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NOTE:

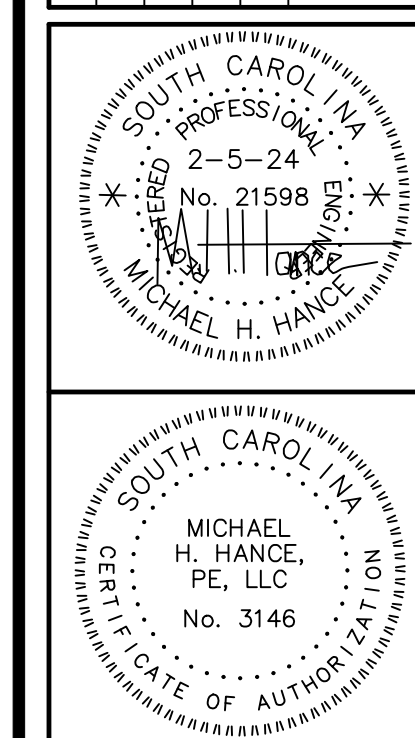
ALL DIMENSIONS TO BE VERIFIED WITH LATEST ARCHITECTURAL DRAWINGS AND IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.



EXISTING ROOF/CEILING FRAMING NOTES:

1. EXISTING UPPER ROOF FRAMING:
2X4 RAFTERS SPACED AT 24' o.c. +/-
SEE 1/56 FOR UPPER ROOF FRAMING LAYOUT.
2. EXISTING 2ND FLR. CEILING JOIST FRAMING:
2X6 JOISTS SPACED AT 24' o.c. +/-
SEE 1/55 FOR CEILING FRAMING LAYOUT.
3. INSTALL NEW PURLIN ROOF BRACING TO CEILING BEAMS AT MIDSPAN OF RAFTER. SEE 3/57 FOR PURLIN ROOF BRACING DETAIL.
4. EXISTING ROOF COVERING:
METAL ROOF PANELS OVER WOOD SHAKES OVER 1X4 PURLINS. VERIFY NEW ROOF COVERING WITH ARCHITECTURAL.
5. PROVIDE SIMPSON H2A HURRICANE TIE OR EQUAL AT EACH RAFTER TO CEILING JOIST CONNECTION. INSTALL HURRICANE TIE PER MFR. SPECIFICATION.
6. PROVIDE 2X6 COLLAR TIES AT UPPER THIRD OF RAFTER AT 48' o.c. MAXIMUM.

Rev	Drwn	Chkd	Appr	Date	Description

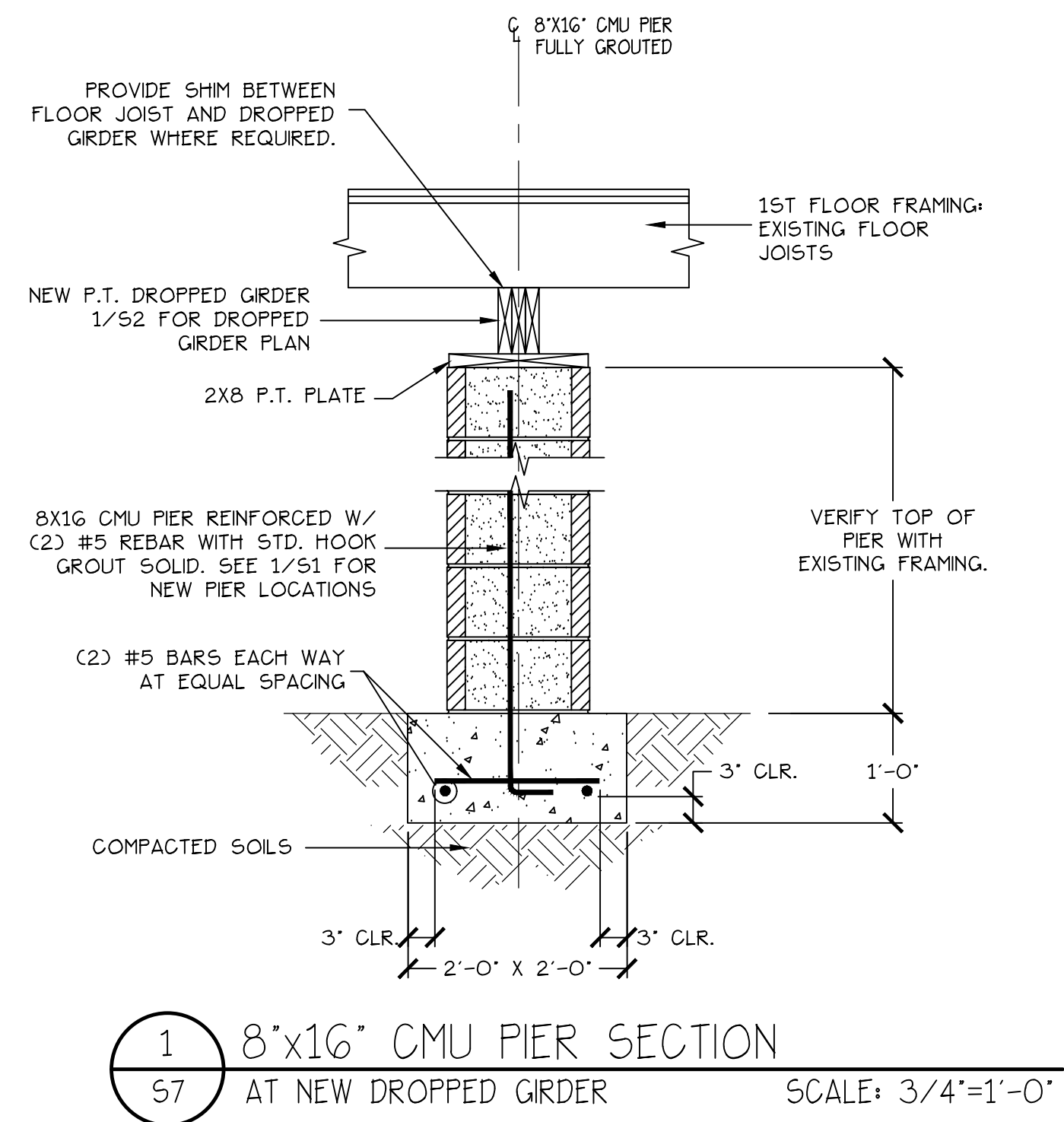


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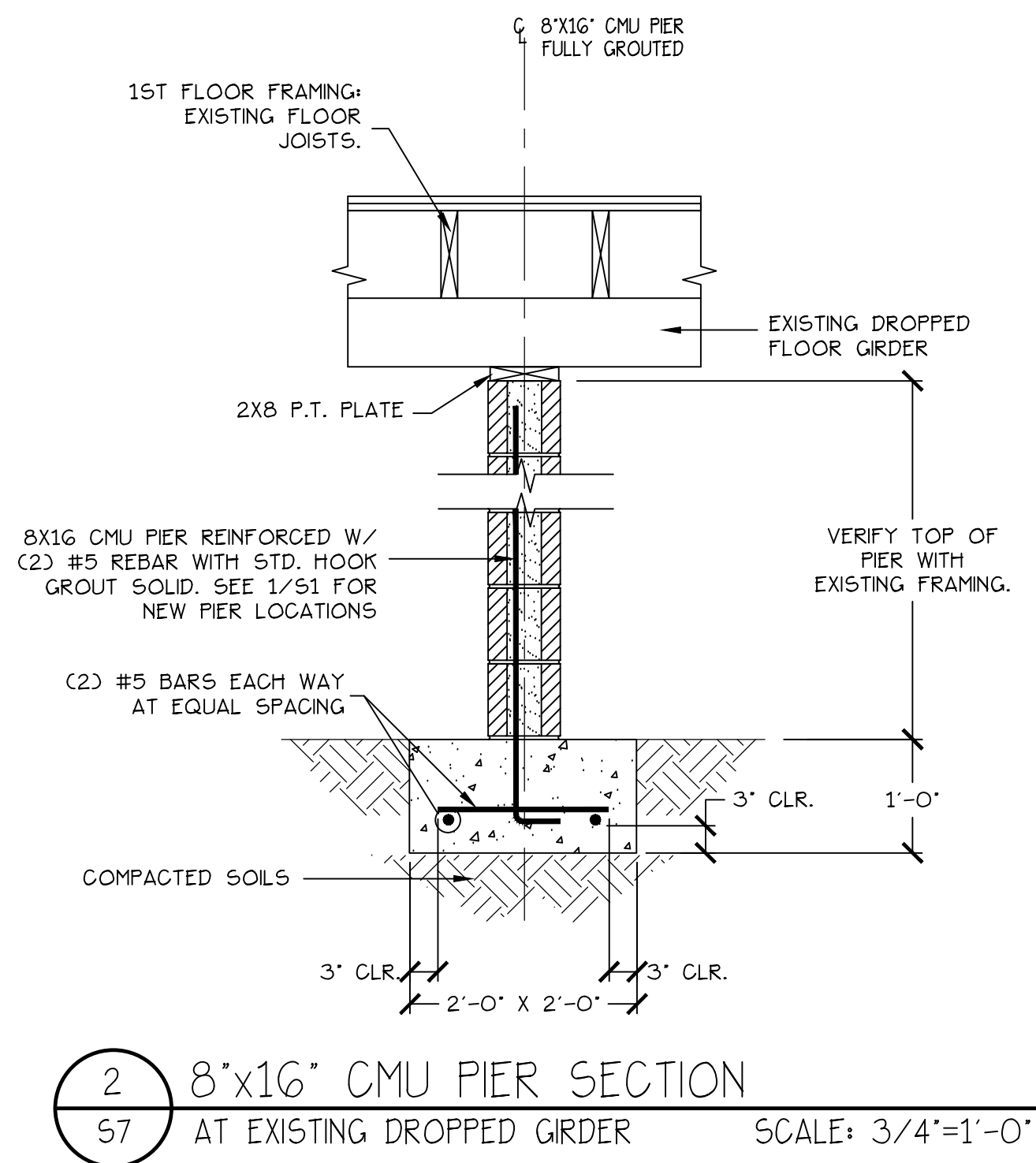
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PROJECT EPPS-MCGGILL FARMHOUSE 679 EASTLAND AVENUE KINGSTREE, SC	TITLE UPPER ROOF FRAMING PLAN
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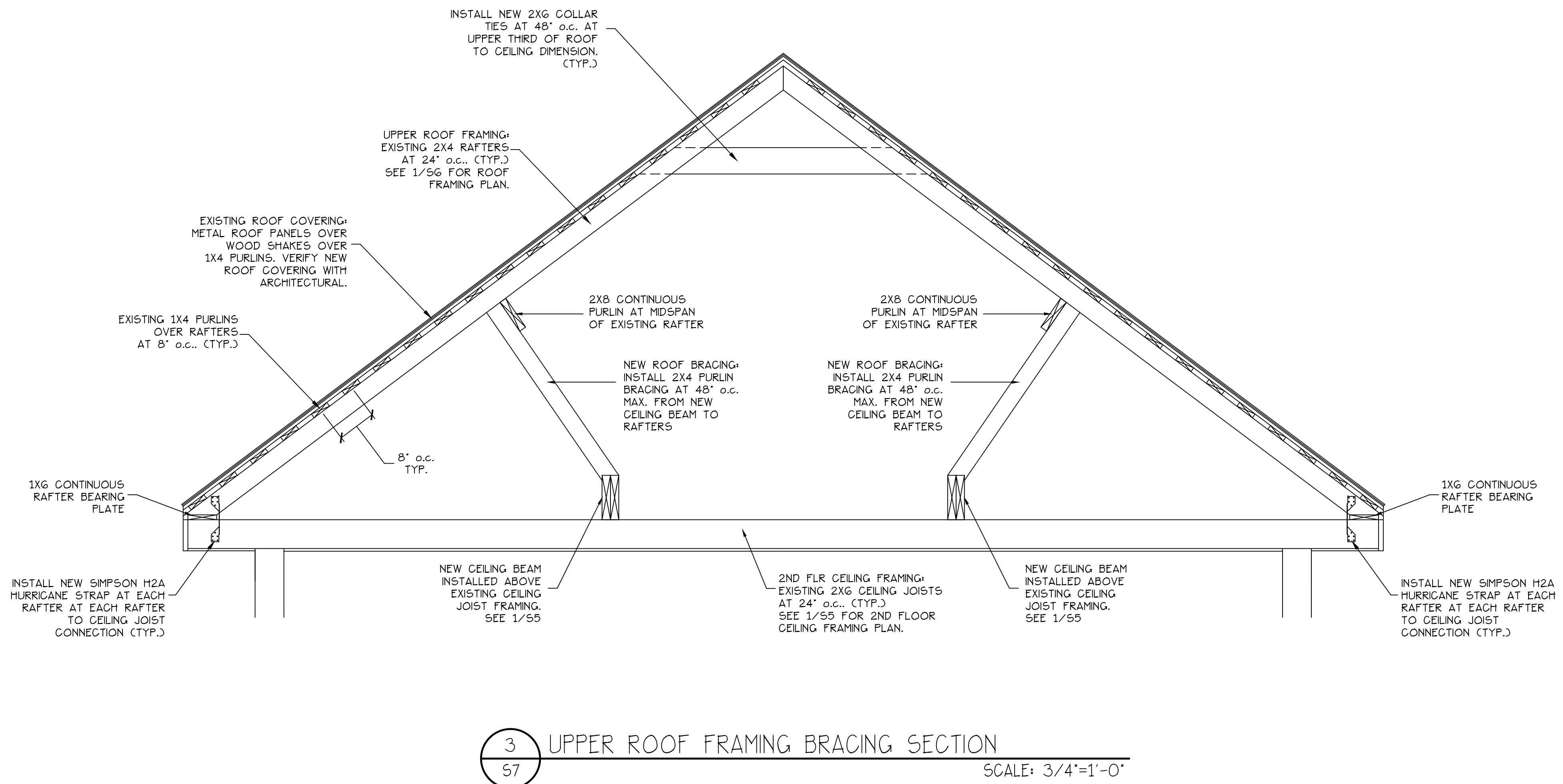
EPPS-MCGGILL PHASE 1
DWG NO: S-6
DATE: February 5, 2024



1 8"x16" CMU PIER SECTION
AT NEW DROPPED GIRDER SCALE: 3/4"=1'-0"



2 8"x16" CMU PIER SECTION
AT EXISTING DROPPED GIRDER SCALE: 3/4"=1'-0"



3 UPPER ROOF FRAMING BRACING SECTION
SCALE: 3/4"=1'-0"

BUILDING DESIGN CRITERIA:

- STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING:
 - 2021 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS WITH SC AMENDMENTS
 - MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE-7-16)
 - 2021 INTERNATIONAL BUILDING CODE
- THE FOLLOWING MINIMUM DESIGN LOADS APPLY TO THIS PROJECT:
 - A. RISK CATEGORY II
 - B. EXPOSURE CATEGORY B
 - C. ULTIMATE DESIGN WIND LOAD: $V_{ult} = 134$ mph
 - D. NOMINAL DESIGN WIND SPEED: $V_{asd} = 104$ mph
 - E. SEISMIC DESIGN CATEGORY D1
 - F. SITE CLASS D (ASSUMED)
 - G. ROOF LIVE LOAD = 20 psf
 - H. FLOOR LIVE LOAD = 40 psf

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING SITE CONDITIONS THAT ARE NOT CONSISTENT WITH THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND ERECTION OF TEMPORARY BRACING AND SHORING AS REQUIRED FOR STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
- THESE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL AND DRAWING/DOCUMENTS RELATING TO OTHER TRADES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN CHECK AND COORDINATION OF DIMENSIONS, CLEARANCES, ETC. WITH THE WORK OF THE OTHER TRADES. IN CASE OF CONFLICT, CONTACT ENGINEER.
- WORK NOT INDICATED AS PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT AT CORRESPONDING PLACES SHALL BE REPEATED.
- ALL SECTIONS AND DETAILS ARE TYPICAL AT SIMILAR LOCATIONS AND WHERE APPLICABLE.
- THE CONTRACTOR SHALL CONSTRUCT THIS PROJECT IN ACCORDANCE WITH 2021 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE BUILDING CODES.
- THE DESIGN PROFESSIONALS SHALL HAVE NO CONTROL OVER NOR RESPONSIBILITY FOR THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES, OR PROCEDURES IN PERFORMING THE WORK, SITE SAFETY, OR SAFETY PROGRAMS IN CONNECTION WITH THE WORK. THESE ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL HEALTH AND SAFETY PRECAUTIONS AS REQUIRED BY ANY REGULATORY AGENCIES.

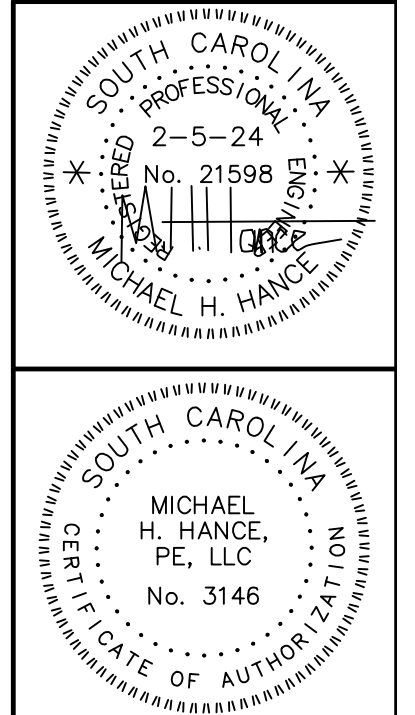
GENERAL FOUNDATION SPECIFICATIONS:

- CONCRETE ANALYSIS HAS BEEN BASED UPON AMERICAN CONCRETE INSTITUTE ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."
- FOUNDATIONS WERE DESIGNED BASED UPON AN ASSUMED MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1000 PSF FOR WALL FOOTINGS AND 1500 PSF FOR COLUMN FOUNDATIONS ON NATURAL SOIL. ALL FOUNDATIONS AND FOOTINGS ON FILL SOILS HAVE BEEN BASED UPON AN ASSUMED MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 PSF.
- REINFORCING STEEL MEETING REQUIREMENTS OF ASTM A615 GRADE 60 DEFORMED SHALL BE PLACED AND HANDLED PER CONCRETE REINFORCING INSTITUTE "MANUAL OF STANDARD PRACTICE." REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR DISTANCE OF 3" FROM SIDES AND BOTTOM, AND 2" FROM TOP OF FOOTING UNLESS OTHERWISE NOTED.

CONCRETE:

- ALL CONCRETE AND REBAR SHALL BE INSTALLED ACCORDING TO STANDARDS SET FORTH BY THE LATEST EDITION OF ACI - 318.
- 28 DAY CONCRETE MINIMUM COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS: FOOTINGS AND SLABS = 3000 PSI MIN. NO CALCIUM CHLORIDE SHALL BE USED IN MIX.
- THE CONTRACTOR SHALL TAKE ADDITIONAL PRECAUTIONS WHEN CONCRETE IS TO BE PLACED AND CURED DURING COLD AND HOT WEATHER IS ADVISED THAT THE CONTRACTOR FOLLOW THE RECOMMENDATIONS PRESCRIBED BY AMERICAN CONCRETE INSTITUTE FOR COLD AND HOT WEATHER CONSTRUCTION.
- NO WATER SHALL BE ADDED TO THE CONCRETE AT THE SITE UNLESS APPROVED BY THE ARCHITECT OR STRUCTURAL ENGINEER.
- REINFORCING STEEL MEETING REQUIREMENTS OF ASTM A615 GRADE 60 DEFORMED SHALL BE PLACED AND HANDLED PER CONCRETE REINFORCING INSTITUTE "MANUAL OF STANDARD PRACTICE." REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR DISTANCE OF 3" FROM SIDES AND BOTTOM, AND 2" FROM TOP OF FOOTING UNLESS OTHERWISE NOTED.
- PROVIDE PROPERLY TIED SPACERS, CHAIRS, BOLSTERS, ETC. AS REQUIRED AND NECESSARY TO ASSEMBLE, PLACE, SUPPORT, ALL REINFORCING USE WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI RECOMMENDATIONS. USE PLASTIC TIP LEGS ON ALL EXPOSED CONCRETE.

Rev	Dr	W	CHK	APP	DATE	DESCRIPTION



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DEPT.: STRUCTURAL

PROJECT
EPPS-MCGGILL FARMHOUSE
679 EASTLAND AVENUE
KINGSTREE, SC

SECTIONS AND NOTES

TITLE

EPPS-MCGGILL
PHASE 1

DWG NO:
S-7

DATE:
February 5, 2024