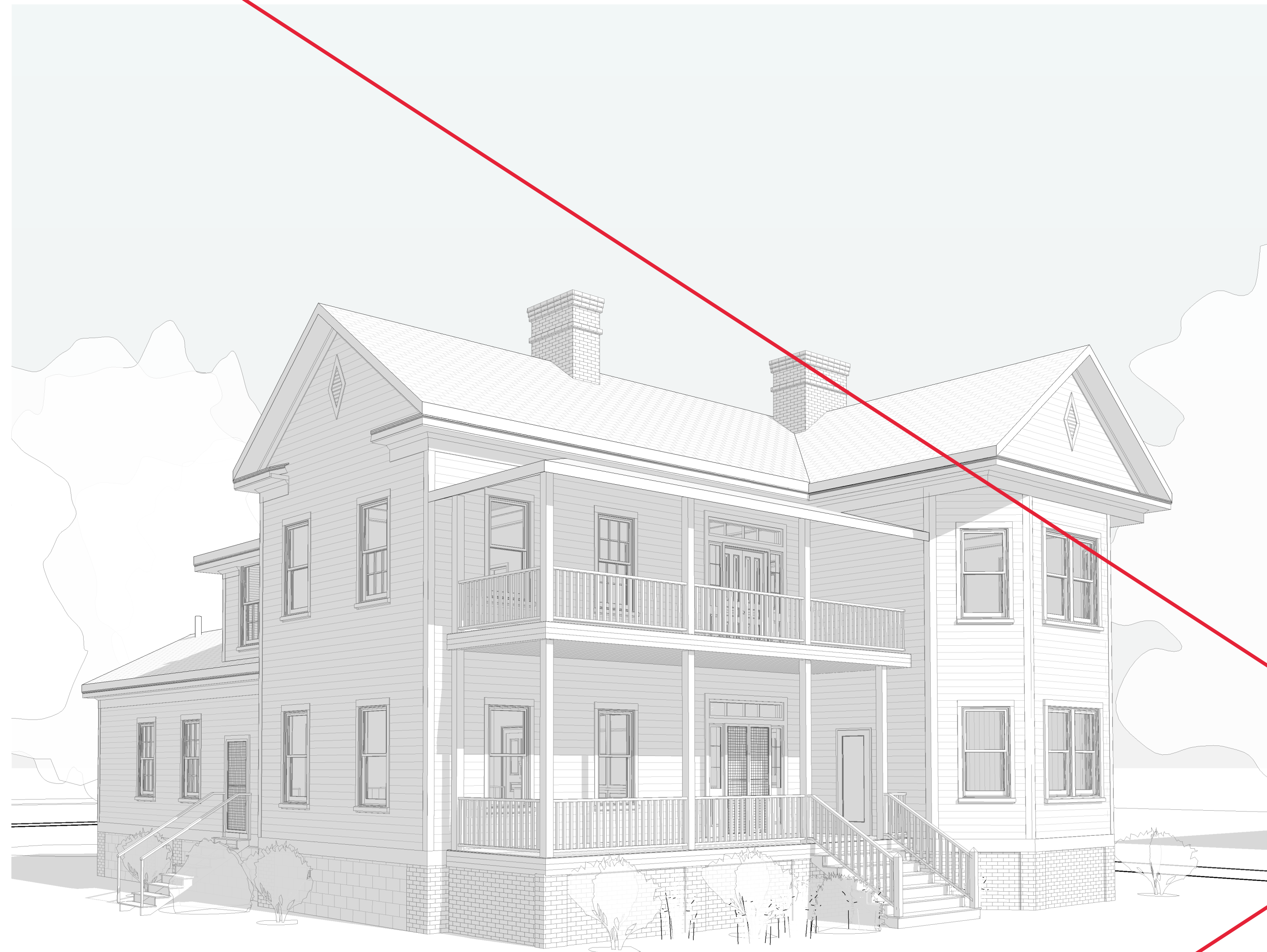


# Epps-McGill Farmhouse - Phase 1



## DRAWING LIST

### PHASE 1 ARCHITECTURAL

- A000 COVER/TITLE SHEET
- A001 NOTES & SPECIFICATIONS
- A002 NOTES & SPECIFICATIONS
- A003 SITE PLAN
- A110 DEMOLITION & PROPOSED GRADE PLAN
- A111 DEMOLITION & PROPOSED 1ST FLR PLAN
- A112 DEMOLITION & PROPOSED 2ND FLR PLAN
- A113 DEMOLITION & PROPOSED ROOF PLAN
- A201 DEMOLITION & PROPOSED BUILDING ELEVATIONS
- A202 DEMOLITION & PROPOSED BUILDING ELEVATIONS
- A301 BUILDING SECTIONS
- A501 ROOF AND FLASHING DETAILS
- A502 ROOF AND FLASHING DETAILS

### STRUCTURAL

- S-1 FOUNDATION PLAN
- S-2 DROPPED GIRDER FRAMING PLAN
- S-5 2ND FLR CEILING FRAMING PLAN
- S-6 UPPER ROOF FRAMING PLAN
- S-7 SECTIONS AND NOTES

## CONTACTS

### Client:

Mrs. Lillie McGill,  
Ms. Lynn Richardson  
699 Eastland Ave  
Kingstree, SC 29556

### Architect:

Meadors Inc.  
PO Box 21758  
Charleston, South Carolina 29413  
Tel: 843.723.8585  
Fax: 843.577.3107

Jeremy Tate  
Project Architect  
Email: jeremy@meadorsinc.com

### Structural Engineer:

Michael H. Hance, PE LLC  
1133 Club Terrace, Mt. Pleasant SC 29464  
Tel: 843.856.2649

## SCOPE OF WORK DESCRIPTION

### Phase 1 Scope of work is limited to the following:

- Stabilize the structure per foundation and roof framing plans.
- Verify lower level roof framing, second floor framing, and porch framing conditions prior to new construction and alterations.
- New roof
  - a. Remove existing metal 5V roof, wood shingles, and purlins beneath prior to new installation.
  - b. Install sheathing over existing rafters as a base for new roofing system.
  - c. Architectural Asphalt Shingle Basis of Design: GAF Timberline® NS Shingles, Color/Finish: Slate
- Repair and repaint all cornice work.

### Notes:

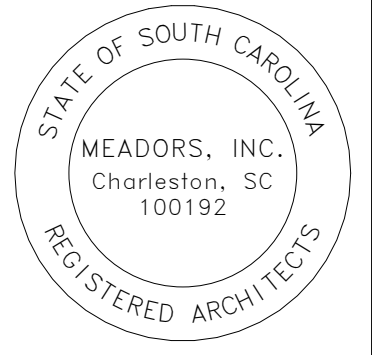
- Owner to remove all furnishings prior to start of Phase 1 work.
- Phase 2 to occur at a later date.

## LOCATION MAP



**MEADORS**  
SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



**EPPS-MCGILL  
FARMHOUSE**

679 Eastland Ave  
Kingstree, South Carolina 29556

Construction  
Documents

PROJ. NO. 20-0087  
ISSUE DATE: 02.05.2024

REVISIONS

#	DATE	NOTES

COVER/TITLE  
SHEET

**A000**

# Epps-McGill Farmhouse - Phase 1



## DRAWING LIST

### PHASE 1 ARCHITECTURAL

- A000 COVER/TITLE SHEET
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### STRUCTURAL

- S-1 FOUNDATION PLAN
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- S-7 SECTIONS AND NOTES

### Revision 2 Note:

- "Revision 1" was skipped since there was a Revision 1 issued on 07/07/2023 for the initial Bid ("20-0087 Epps McGill Phased CD Set 2023.06.02").
- Revision 2 is to clarify that the repairing and re-painting of existing siding and cornerboard is not included in the Phase 1 scope of work. However, the scope of work does include repairing and re-painting the cornice as that will be affected by the re-roofing work.

## CONTACTS

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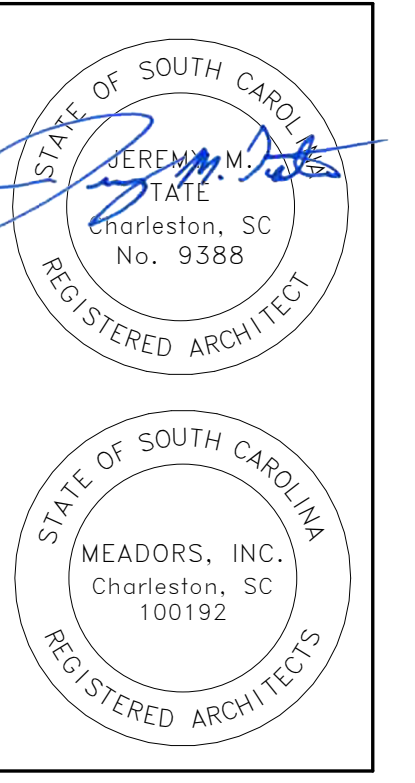
### Notes:

- Owner to remove all furnishings prior to start of Phase 1 work.
- Phase 2 to occur at a later date.

## LOCATION MAP



**MEADORS**  
 SINCE 1984  
 2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



**EPPS-MCGILL FARMHOUSE**  
 679 Eastland Ave  
 Kingstree, South Carolina 29556

## Construction Documents

PROJ. NO. 20-0087  
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REVISIONS		
#	DATE	NOTES
2	08/20/2024	Phase 1 scope of work clarification

COVER/TITLE SHEET  
**A000**



## GENERAL NOTE ON INTERIOR & EXTERIOR PAINTING

CONTRACTOR TO ENSURE FINISHES ARE FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS. ALL HARD EDGES OF PAINT TO BE FEATHERED SO THAT VARIATIONS IN PAINT THICKNESS ARE NOT VISIBLE. DUE TO THE CONDITION OF THE EXTERIOR PAINT, COMPONENTS MAY REQUIRE COMPLETE PAINT REMOVAL TO ACHIEVE STABLE, WELL ADHERED, AND VISIBLY HOMOGENOUS PAINT.

- A. ANY CUT OR NOTCHED EXTERIOR WOOD SHALL BE COATED WITH A WOOD OR EPOXY SEALER TO PROTECT END GRAINS FROM ABSORBING WATER.
- B. PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT ON EXISTING PAINTED ELEMENTS. NEW EXTERIOR WOOD SURFACES TO HAVE AN ADDITIONAL COAT OF OIL BASED PRIMER.
- C. REMOVE OVERPRINTING BOTH NEW AND OLD FROM ALL GLASS AND HARDWARE INTENDED TO BE AN UNPAINTED METAL SURFACE.
- D. INTERIOR AND EXTERIOR WOOD-PATCHING COMPOUND SHALL BE TWO-PART, EPOXY-RESIN (WEST SYSTEM 5:1, ABATRON 2:1, OR APPROVED EQUAL).
- E. METAL-PATCHING COMPOUND SHALL BE TWO-PART, POLYESTER-RESIN (ABATRON, FERROBOND P., OR APPROVED EQUAL).

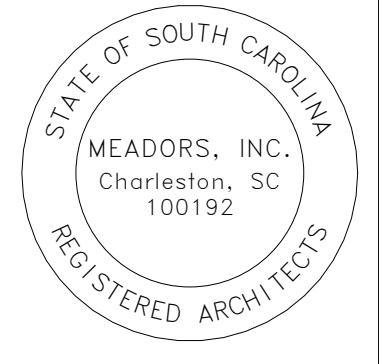
## EXTERIOR MILLWORK NOTES

1. CONTRACTOR TO ENSURE THAT ALL EXTERIOR MILLWORK AND TRIM IS FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS.
2. MILLWORK/TRIM SHALL BE LAMINATED AND FORMED, PRESHAPED, OR MACHINED TO THE DIMENSION/RADIUS AND FABRICATED IN THE LONGEST PRACTICAL LENGTHS TO MINIMIZE INSTALLER JOINTS. INSTALL WITH MINIMUM NUMBER OF JOINTS POSSIBLE, USING FULL-LENGTH PIECES FROM MAXIMUM LENGTH OF LUMBER AVAILABLE. COPE AT RETURNS; MITER AT CORNERS TO PRODUCE TIGHT FITTING JOINTS. USE SCARF JOINTS FOR END-TO-END JOINTS.
3. ALL EXTERIOR MILLWORK AND TRIM SHALL BE MINIMUM CUSTOM GRADE AND CLEAR OF KNOTS, DEFECTS, AND BLEMISHES. UNLESS NOTED OTHERWISE, EXTERIOR MILLWORK AND TRIM IS INTENDED FOR OPAQUE FINISH.
4.
  - A. SPECIES AND GRADE:
    1. C & BETTER PRESSURE-PRESERVATIVE-TREATED SOUTHERN PINE; SPIB
    2. SAPELE
    3. CEDAR
    4. EXTERIOR STANDING AND RUNNING TRIM:
      - A. BOARDS AND WORKED LUMBER PRODUCTS COMPLYING WITH REQUIREMENTS INDICATED BELOW INCLUDING THOSE OF GRADING AGENCIES LISTED WITH SPECIES.
        - a. SPECIES: WESTERN RED CEDAR: WWPA OR WCLIB.
        - b. GRADE: B AND BTR - 1 AND 2 CLEAR.
        - c. TEXTURE: SURFACED (SMOOTH).
    5. SIDING BOARD TYPE:
      - A. LUMBER MILLED TO PATTERN AND SIZE INDICATED, COMPLYING WITH REQUIREMENTS INDICATED BELOW INCLUDING THOSE OF GRADING AGENCY USED WITH SPECIES:
        - a. SPECIES: WESTERN RED CEDAR: WWPA OR WCLIB
        - b. GRADE: A GRADE VG.
        - c. TEXTURE: SURFACED.
    6. PATTERN: OVERALL DIMENSIONS AND PATTERN TO MATCH EXISTING AND AS SPECIFIED IN DRAWINGS.
5. EXTERIOR MILLWORK SHALL BE PRIME COATED ALL SIDES PRIOR TO REACHING THE JOBSITE. ONCE INSTALLED, THE MILLWORK SHOULD BE COATED WITH TWO COATS OF FINISH PAINT. ALL MILLWORK/TRIM SHALL BE SURFACE FOUR SIDES (S4S).
6. EXTERIOR MILLWORK/TRIM SHALL BE KILN DRIED AFTER TREATMENT (KDAT), MOISTURE CONTENT SHALL BE AS NOTED BELOW. LUMBER SHALL BE AT A MINIMUM PRIME COATED PRIOR TO REACHING THE JOBSITE. ONCE INSTALLED, THE KDAT LUMBER SHALL BE COATED WITH TWO COATS OF FINISH PAINT. ALL MILLWORK/TRIM SHALL BE SURFACE FOUR SIDES (S4S).
  - A. PROVIDE MATERIAL THAT HAS BEEN KILN DRIED AFTER TREATMENT, MOISTURE CONTENT MUST BE BELOW 15% WITH AT LEAST 85 PERCENT OF SHIPMENT AT 12% OR LESS.
  - B. PRE-PRIME AND APPLY A MINIMUM OF ONE COAT OF FINISH PAINT ON ALL SIDES PRIOR TO INSTALLATION. ANY CUT OR NOTCHED WOOD SHALL BE COATED WITH AN EPOXY SEALER TO PROTECT END GRAINS FROM ABSORBING WATER.
7. PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT AT EXTERIOR SURFACES.
8. ALL GLASS SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS.
10. GUARDRAILS MUST BE LOCATED ALONG FLOOR SURFACES THAT ARE LOCATED 30 INCHES OR MORE ABOVE THE FLOOR OR GROUND BELOW.
11. DO NOT USE FINGER-JOINTED WOOD.
12. BOXED BEAMS, COLUMNS, PILASTERS, SEATS, BENCHES, AND TRELLISES SHALL BE SOUNDLY CONSTRUCTED, WITH TONGUED, SHOULDER MITERED, MORTISED AND TENONED, OR DOWELED JOINTS; SECURELY GLUED, NAILED, AND REINFORCED WITH GLUE BLOCKS OR METAL BRACKETS, AS APPROPRIATE.
13. CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING STRUCTURAL MEMBERS, GROUNDS, IN WALL BLOCKING, BACKING, FURRING, BRACKETS, OR OTHER ANCHORAGE REQUIRED FOR ARCHITECTURAL WOODWORK INSTALLATION THAT BECOMES AN INTEGRAL PART OF WALLS, FLOORS, OR CEILINGS TO WHICH ARCHITECTURAL WOODWORK, SUCH AS APPLIED SURFACING, STANDING AND RUNNING TRIM, WALL MOUNTED SHELF STANDARDS AND DOOR/WINDOW FRAMES SHALL BE INSTALLED.
14. WALL, CEILING, AND/OR OPENING VARIATIONS IN EXCESS OF 1/4" OR FLOORS IN EXCESS OF 1/2" IN 144" OF BEING PLUMB, LEVEL, FLAT, STRAIGHT, SQUARE, OR OF THE CORRECT SIZE ARE NOT ACCEPTABLE FOR THE INSTALLATION OF ARCHITECTURAL WOODWORK, NOR IS IT THE RESPONSIBILITY OF THE INSTALLER TO SCRIBE OR FIT TO TOLERANCES IN EXCESS OF SUCH.
15. CONTRACTOR SHALL VERIFY THAT INSTALLATION SITE IS PROPERLY VENTILATED, PROTECTED FROM DIRECT SUNLIGHT, EXCESSIVE HEAT AND/OR MOISTURE, AND THAT THE HVAC SYSTEM IS FUNCTIONING AND MAINTAINING THE APPROPRIATE RELATIVE HUMIDITY AND TEMPERATURE.
16. CONTRACTOR SHALL VERIFY THAT THE REQUIRED PRIMING OF WOODWORK HAS BEEN COMPLETED BEFORE WOODWORK IS INSTALLED.
17. CONTRACTOR SHALL VERIFY THAT THE WOODWORK HAS BEEN ACCLIMATED TO THE FIELD CONDITIONS FOR A MINIMUM OF 72 HOURS BEFORE INSTALLATION IS COMMENCED.
18. WOODWORK SPECIFICALLY BUILT OR ASSEMBLED IN SEQUENCE FOR MATCH OF COLOR AND GRAIN SHALL BE INSTALLED TO MAINTAIN THAT SAME SEQUENCE.
19. WOODWORK SHALL BE: SECURELY FASTENED AND TIGHTLY FITTED WITH FLUSH JOINTS, AND: JOINERY SHALL BE CONSISTENT THROUGHOUT THE PROJECT; OF MAXIMUM AVAILABLE AND/OR PRACTICAL LENGTHS; TRIMMED EQUALLY FROM BOTH SIDES WHEN FITTED FOR WIDTH; SPLINED OR DOWELED WHEN MITERS ARE OVER 4" LONG; PROFILED OR SELF MITERED WHEN TRIM ENDS ARE EXPOSED; MITERED AT OUTSIDE CORNERS; MITERED FOR S4S AT INSIDE CORNERS; PROFILED TRIM COPED AT INSIDE CORNERS; INSTALLED PLUMB, LEVEL, SQUARE, AND FLAT WITHIN 1/8" IN 96"; INSTALLED FREE OF WARP, TWISTING, CUPPING, AND/OR BOWING THAT CANNOT BE HELD TRUE; SMOOTH AND SANDED WITHOUT CROSS SCRATCHES; AND SCRIBED AT FLAT AND SHAPED SURFACES.
20. FASTENING AND FASTENERS SHALL: INCLUDE THE USE OF CONSTRUCTION ADHESIVE, FINISH NAILS, TRIM SCREWS, PINS AND/OR STAPLES, EXCEPT STAPLES WITH A CROWN EXCEEDING 3/16" ARE NOT PERMITTED; NOT PERMIT THE USE OF DRYWALL OR BUGLE HEAD SCREWS; REQUIRE EXPOSED FASTENERS TO BE COUNTERSUNK; REQUIRE EXPOSED FASTENERS TO BE SET IN QUIRKS AND RELIEFS WHERE POSSIBLE; REQUIRE EXPOSED FASTENERS TO BE INCONSPICUOUS WHEN VIEWED AT 24"; NOT PERMIT EXPOSED FASTENING THROUGH DECORATIVE LAMINATE; REQUIRE ALLOWABLE FASTENER HOLES, WHEN: PREFINISHED MATERIALS TO BE FILLED BY THE INSTALLER WITH MATCHING FILLER BY THE MANUFACTURER, UNFINISHED MATERIALS TO BE FILLED BY THE PAINT CONTRACTOR OR OTHERS. FILLER TO BE USED FOR HOLES UP TO 1/4" IN DIAMETER; PLUGS TO BE USED FOR ANY HOLES LARGER THAN 1/4" IN DIAMETER.
  - A. ANY FASTENERS USED AT PRESSURE TREATED MATERIALS MUST BE STAINLESS STEEL.
  - B. WOOD FILLER / PATCHING COMPOUND: TWO-PART, EPOXY RESIN PATCHING SYSTEM; KNIFE-GRADE FORMULATION AS RECOMMENDED BY THE MANUFACTURER FOR TYPE OF WOOD REPAIR INDICATED, TOOLING TIME REQUIRED FOR THE DETAIL OF WORK, AND SITE CONDITIONS. COMPOUND SHALL BE DESIGNED FOR FILLING VOIDS IN DAMAGED WOOD MATERIALS THAT HAVE DETERIORATED DUE TO WEATHERING AND DECAY. COMPOUND SHALL BE CAPABLE OF FILLING DEEP HOLES AND SPREADING TO FEATHER EDGE.
  - C. PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE ONE OF THE FOLLOWING:
    1. WEST SYSTEMS INC, WEST SYSTEM
    2. AN APPROVED EQUAL
  - D. USE A BISPHENOL A BASED LOW VISCOSITY LIQUID EPOXY RESIN WITH APPROPRIATE HARDENER THAT CURES TO A HIGH STRENGTH PLASTIC SOLID UNDER ROOM TEMPERATURES.
  - E. EPOXY TO HARDENER RATIO SHALL NOT EXCEED 5:1.
  - F. PRODUCT SHALL BE SPECIFICALLY DESIGNED TO BOND WITH HISTORIC WOOD FIBER AND MUST BE ABLE TO BE SANDED AND SHAPED WHEN CURED.
21. GLUE AND FILLER RESIDUE IS NOT PERMITTED ON EXPOSED FACES.
22. EQUIPMENT CUTOUTS, INCLUDING ELECTRICAL AND PLUMBING, SHALL BE CUT OUT BY THE INSTALLER, PROVIDED TEMPLATES ARE FURNISHED PRIOR TO INSTALLATION, AND SHALL BE NEATLY CUT AND PROPERLY SIZED TO BE COVERED BY STANDARD COVER PLATES OR ROSETTES AND CUTOUTS IN HPDL SHALL HAVE RADIUSED INSIDE CORNERS.
23. HARDWARE SHALL BE: INSTALLED NEATLY WITHOUT TEAR OUT OF SURROUNDING STOCK; INSTALLED PER MANUFACTURER'S INSTRUCTIONS; INSTALLED USING FURNISHED FASTENERS AND FASTENERS' PROVISIONS; AND ADJUSTED FOR SMOOTH OPERATION, WITHIN LIMITS OF THE SPECIFIED HARDWARE.
24. AREAS OF INSTALLATION SHALL BE LEFT BROOM CLEAN. DEBRIS SHALL BE REMOVED AND DUMPED IN CONTAINERS PROVIDED BY THE CONTRACTOR. ITEMS INSTALLED SHALL BE CLEANED OF PENCIL OR INK MARKS.
25. FIRST CLASS WORKMANSHIP IS REQUIRED IN COMPLIANCE WITH THESE STANDARDS.
26. QUALITY STANDARD:
  - A. COMPLY WITH APPLICABLE REQUIREMENTS OF 'ARCHITECTURAL WOODWORK QUALITY STANDARDS' BY AMERICAN WOODWORKERS INSTITUTE (AWI).
  - B. PRESERVATION BRIEF 45 "PRESERVING HISTORIC WOODEN PORCHES"
  - C. AMERICAN SOFTWOOD LUMBER STANDARD PS20 AMERICAN PLYWOOD ASSOCIATION
  - D. AMERICAN WOOD PRESERVERS BUREAU STANDARDS
27. INSTALL FINISH CARPENTRY WORK PLUMB, LEVEL, TRUE AND STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED USING CONCEALED SHIMS. SCRIBE AND CUT FINISH CARPENTRY ITEMS TO FIT ADJOINING WORK. ANCHOR FINISH CARPENTRY WORK SECURELY TO SUPPORT AND SUBSTRATES USING CONCEALED FASTENERS AND BLIND NAILING WHERE POSSIBLE. USE FINE FINISH NAILS FOR EXPOSED NAILING EXCEPT AS INDICATED, COUNTERSUNK AND FILLED FLUSH WITH FINISH SURFACE.
28. MANUFACTURERS:
  - A. GREEN RECOMMENDED MANUFACTURERS AND PRODUCTS: (PER BUILDINGGREEN.COM)
  - B. ARMSTER RECLAIMED LUMBER CO.
  - C. RECLAIMED-WOOD LUMBER AND PRODUCTS INDUSTRIES MAIBEC, INC.
  - D. CERTIFIED PR SHINGLES.
28. REFER TO SPECIFICATION SECTION 062012 "EXTERIOR FINISH CARPENTRY."

MEADORS

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



EPPS-MCGILL FARMHOUSE

679 Eastland Ave  
Kingstree, South Carolina 29566

Construction Documents

PROJ. NO. 20-0087  
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REVISIONS

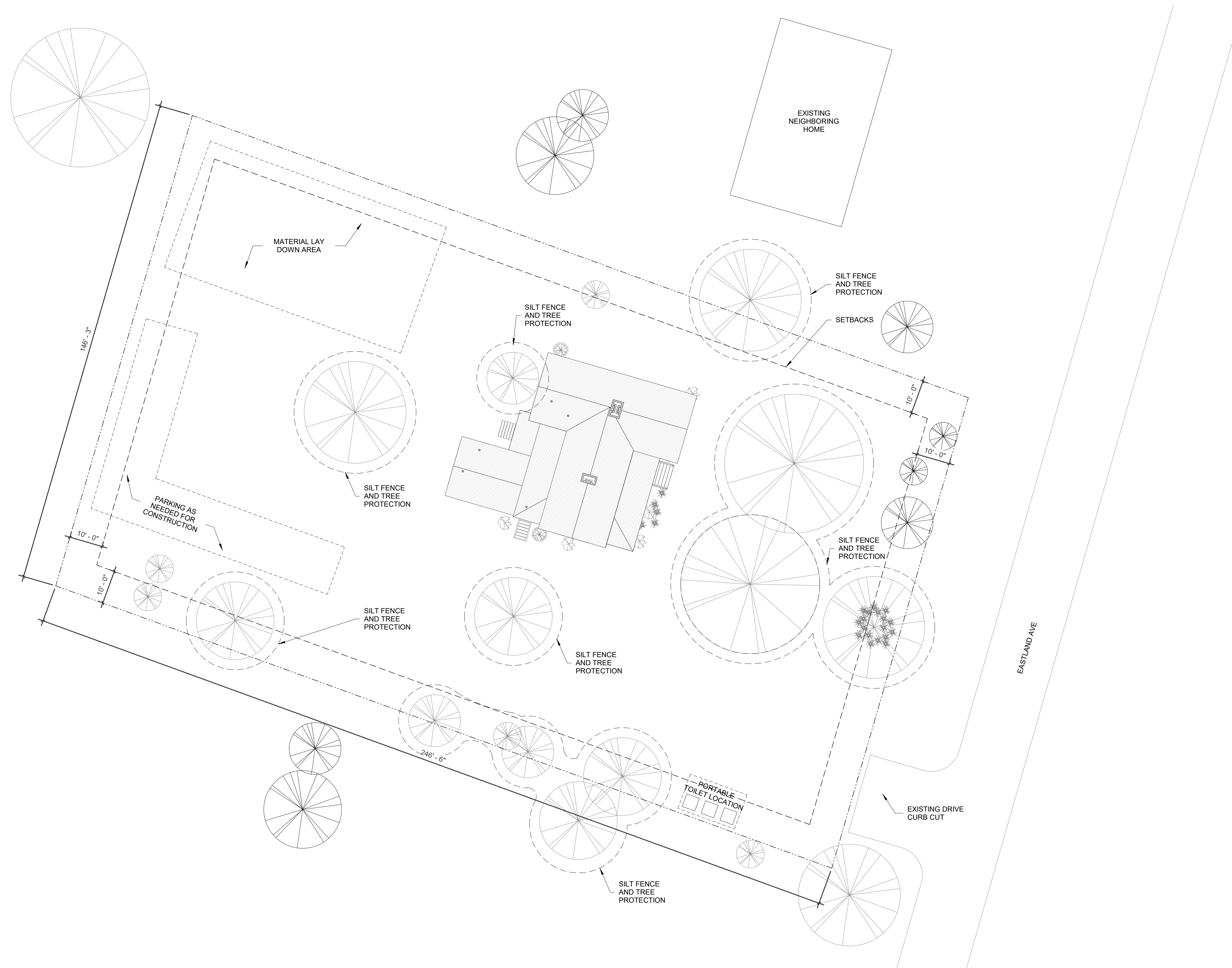
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NOTES & SPECIFICATIONS

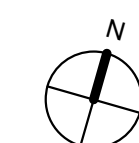
A002

**NOTES:**

1. PROTECT ALL EXISTING TREES.
2. ARCHITECT RECOMMENDS THAT A CERTIFIED ARBORIST LIMB UP TREES TO REDUCE/MINIMIZE OVERHANGING BRANCHES AND CHECK HEALTH OF TREES.
3. CLEAR AWAY VEGETATION FROM FOUNDATION AS NEEDED FOR SCOPE OF WORK AND ANY UNHEALTHY TREES.
4. LOCATIONS FOR VEGETATION PROTECTION, PARKING ACCESS, MATERIALS LAY DOWN, AND PORTABLE TOILET FOR CONSTRUCTION ACTIVITIES NOTED ON SITE PLAN.



1 SITE PLAN - PHASE 1  
1/16" = 1'-0"

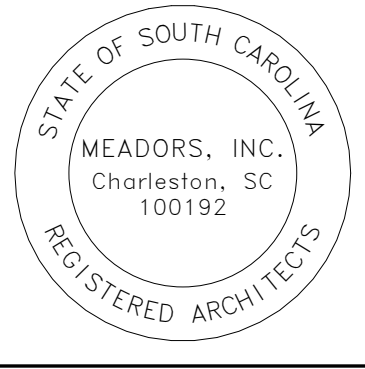
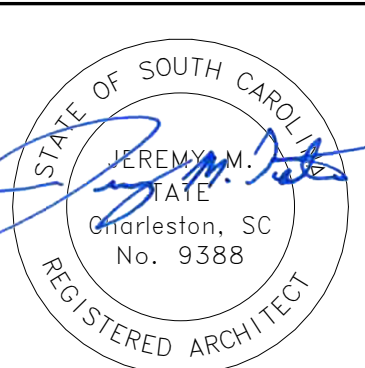


**MEADORS**



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**EPPS-MCGILL  
FARMHOUSE**

679 Eastland Ave  
Kingstree, South Carolina 29566

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-  
**PHASE 1**

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#	DATE	NOTES

SITE PLAN

**A003**

**NOTE:**

1. REFER TO STRUCTURAL FOR TYPICAL FOUNDATION DETAILS.
2. CONTRACTOR TO KEEP CRAWLSPACE FREE OF DEBRIS AND OBSTRUCTION.

**DEMO LEGEND**

- DEMOLISH
- EXISTING TO REMAIN

**GENERAL DEMOLITION NOTES:**

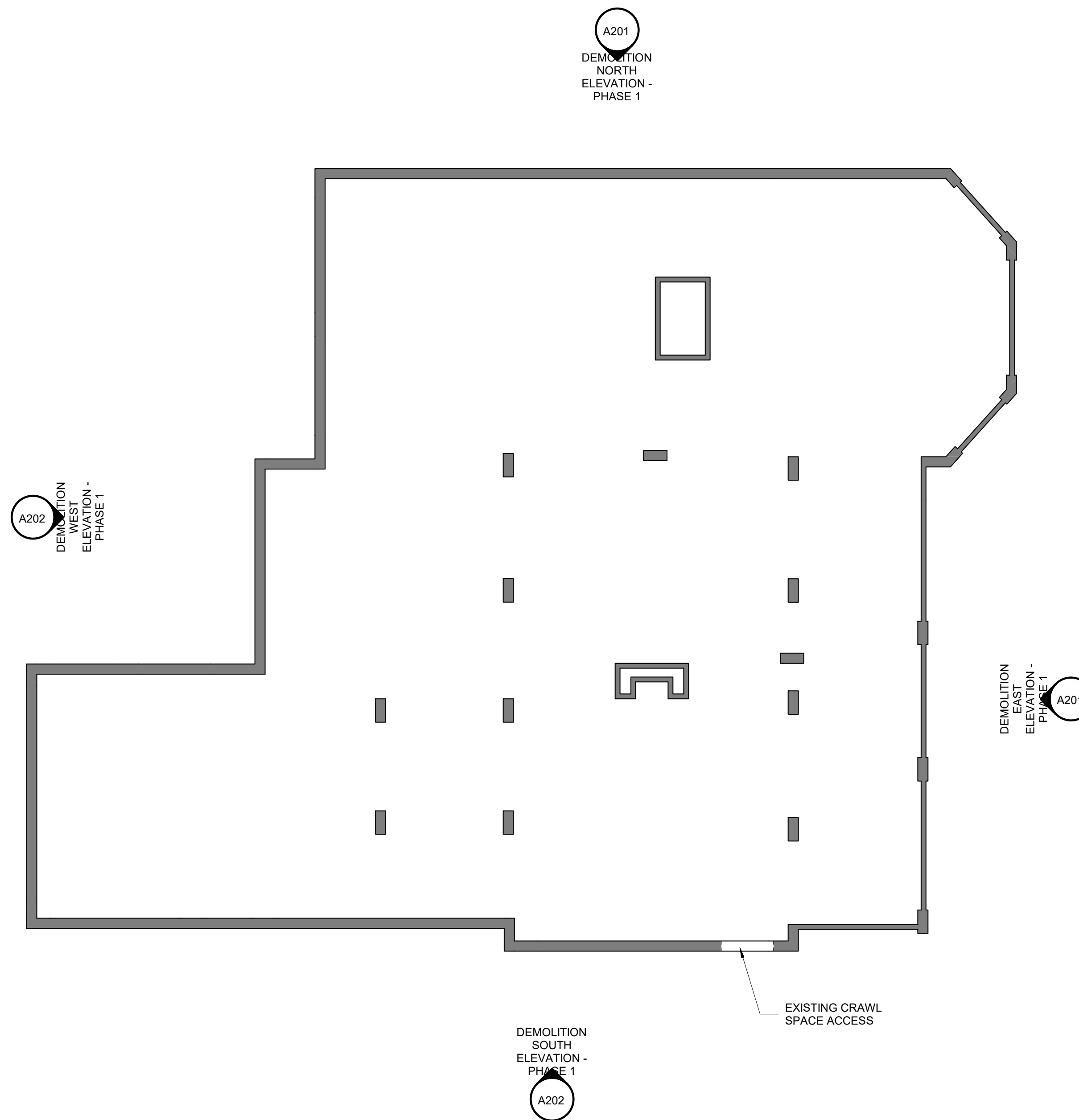
1. DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
2. EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
3. VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
4. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD-BEARING OR IS ADEQUATELY SHORED PRIOR TO STARTING ANY WORK.
5. TERMINATE AND CAP ANY UTILITY TO BE REMOVED AND NOT INTENDED FOR REUSE.
6. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE MANNER.
7. THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANY ALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE REMOVED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

**GENERAL FLOOR PLAN NOTES:**

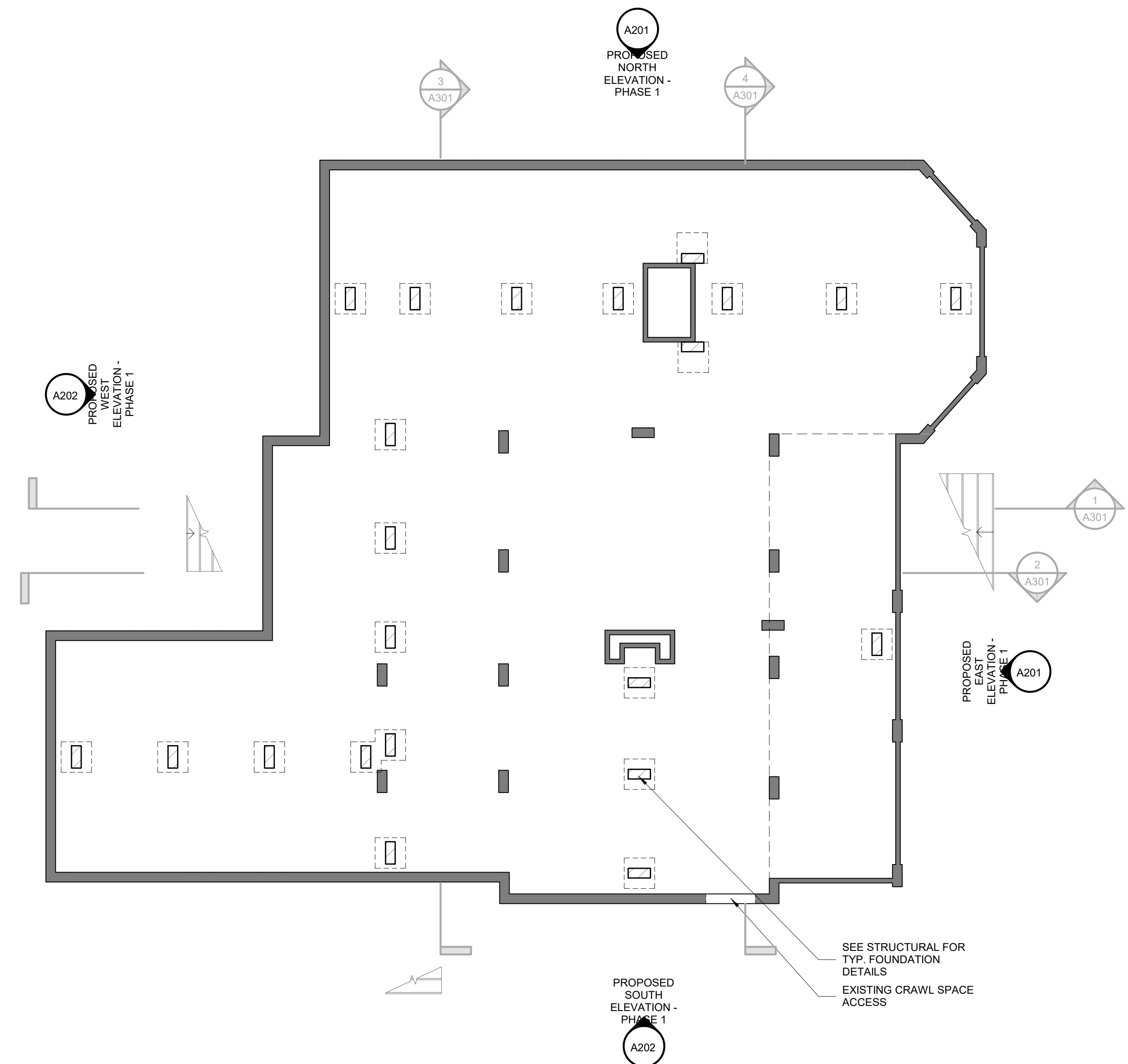
1. EXISTING WALLS ARE DIMENSIONED TO FACE OF WALL FINISH
2. EXISTING DOORS AND WINDOWS ARE DIMENSIONED TO FINISHED OPENING
3. NEW WALLS ARE DIMENSIONED TO FACE OF STUD OR MASONRY
4. NEW DOORS ARE DIMENSIONED TO ROUGH OPENING
5. NEW WINDOWS ARE DIMENSIONED TO CENTER LINE OF OPENING

**WALL LEGEND**

- EXISTING WALL
- NEW WALL



① 00 - DEMOLITION GRADE PLAN - PHASE 1  
3/16" = 1'-0"

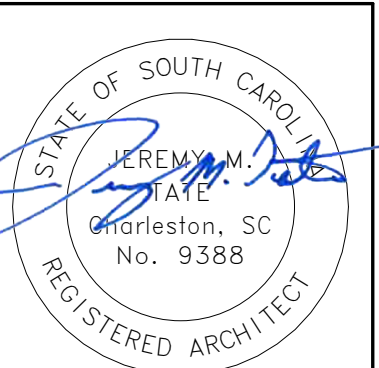


② 00 - PROPOSED GRADE DIMENSION PLAN - PHASE 1  
3/16" = 1'-0"

**MEADORS**

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, ■ 843.723.8585



**EPPS-MCGILL FARMHOUSE**

679 Eastland Ave  
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**Construction Documents**  
-  
**PHASE 1**

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**DEMOLITION & PROPOSED GRADE PLAN**

**A110**

**NOTE:**

- OWNER TO REMOVE ALL FURNISHINGS PRIOR TO START OF PHASE 1 WORK.
- 1ST FLOOR PLANS INCLUDED FOR ORIENTATION AND REFERENCE PURPOSES.
  - NO INTERIOR ALTERATIONS INCLUDED FOR PHASE 1.
  - SEE STRUCTURAL FOR 1ST FLOOR FRAMING PLAN.

**GENERAL DEMOLITION NOTES:**

- DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD-BEARING OR IS ADEQUATELY SHORED PRIOR TO STARTING ANY WORK.
- TERMINATE AND CAP ANY UTILITY TO BE REMOVED AND NOT INTENDED FOR REUSE.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE MANNER.
- THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANY/ALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE REMOVED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

**DEMO LEGEND**

- DEMOLISH
- EXISTING TO REMAIN

**GENERAL FLOOR PLAN NOTES:**

- EXISTING WALLS ARE DIMENSIONED TO FACE OF WALL FINISH
- EXISTING DOORS AND WINDOWS ARE DIMENSIONED TO FINISHED OPENING
- NEW WALLS ARE DIMENSIONED TO FACE OF STUD OR MASONRY
- NEW DOORS ARE DIMENSIONED TO ROUGH OPENING
- NEW WINDOWS ARE DIMENSIONED TO CENTER LINE OF OPENING

**WALL LEGEND**

- EXISTING WALL
- NEW WALL

**SQUARE FOOTAGE REPORT - EXISTING**

Room Number	Room Name	Conditioned	Area (Conditioned)	Area (Unconditioned)
<b>01 - 1ST FLR</b>				
E100	PORCH	No		234 SF
E101	FOYER	Yes	197 SF	
E102	PARLOR	Yes	306 SF	
E103	BED 01	Yes	278 SF	
E104	CLOSET	No		15 SF
E105	BATH 01	Yes	57 SF	
E106	DINING	Yes	286 SF	
E107	BREAKFAST	Yes	275 SF	
E108	CLOSET	No		13 SF
E109	POWDER	Yes	37 SF	
E110	KITCHEN	Yes	232 SF	
E111	STORAGE	Yes	90 SF	
			1757 SF	262 SF

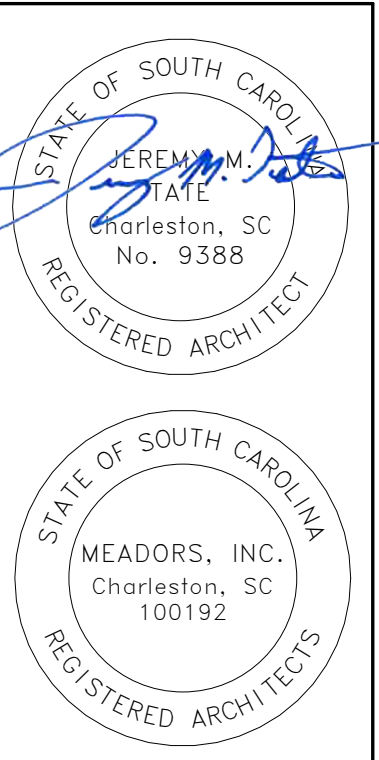
<b>02 - 2ND FLR</b>				
E200	BALCONY	No		234 SF
E201	HALL	Yes	204 SF	
E202	BED 02	Yes	317 SF	
E203	CLOSET	No		15 SF
E204	BED 03	Yes	270 SF	
E205	STORAGE	No		97 SF
E206	BED 04	Yes	278 SF	
E207	CLOSET	No		11 SF
E208	BACK STAIR HALL	Yes	210 SF	
			1279 SF	357 SF

Grand total 3035 SF 619 SF



**MEADORS**  
SINCE 1984

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**EPPS-MCGILL FARMHOUSE**  
679 Eastland Ave  
Kingstree, South Carolina 29566

Construction Documents  
**PHASE 1**

PROJ. NO. 20-0087  
ISSUE DATE: 02.05.2024

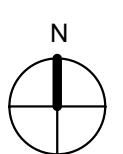
REVISIONS  
# DATE NOTES

DEMOLITION & PROPOSED 1ST FLR PLAN

**A111**

1 01 - DEMOLITION 1ST FLR PLAN - PHASE 1  
3/16" = 1'-0"

2 01 - PROPOSED 1ST FLR DIMENSION PLAN - PHASE 1  
3/16" = 1'-0"



**NOTE:**

- OWNER TO REMOVE ALL FURNISHINGS PRIOR TO START OF PHASE 1 WORK.
- 2ND FLOOR PLANS INCLUDED PRIMARILY FOR ORIENTATION AND REFERENCE PURPOSES.
  - NO INTERIOR ALTERATIONS INCLUDED FOR PHASE 1.
- SEE STRUCTURAL FOR 2ND FLOOR AND CEILING FRAMING PLANS.
- CONTRACTOR TO KEEP ATTIC ACCESS FREE OF DEBRIS AND OBSTRUCTION.

**GENERAL DEMOLITION NOTES:**

- DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD-BEARING OR IS ADEQUATELY SHORED PRIOR TO STARTING ANY WORK.
- TERMINATE AND CAP ANY UTILITY TO BE REMOVED AND NOT INTENDED FOR REUSE.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE MANNER.
- THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANY/ALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE REMOVED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

**DEMO LEGEND**

- DEMOLISH
- EXISTING TO REMAIN

**GENERAL FLOOR PLAN NOTES:**

- EXISTING WALLS ARE DIMENSIONED TO FACE OF WALL FINISH
- EXISTING DOORS AND WINDOWS ARE DIMENSIONED TO FINISHED OPENING
- NEW WALLS ARE DIMENSIONED TO FACE OF STUD OR MASONRY
- NEW DOORS ARE DIMENSIONED TO ROUGH OPENING
- NEW WINDOWS ARE DIMENSIONED TO CENTER LINE OF OPENING

**WALL LEGEND**

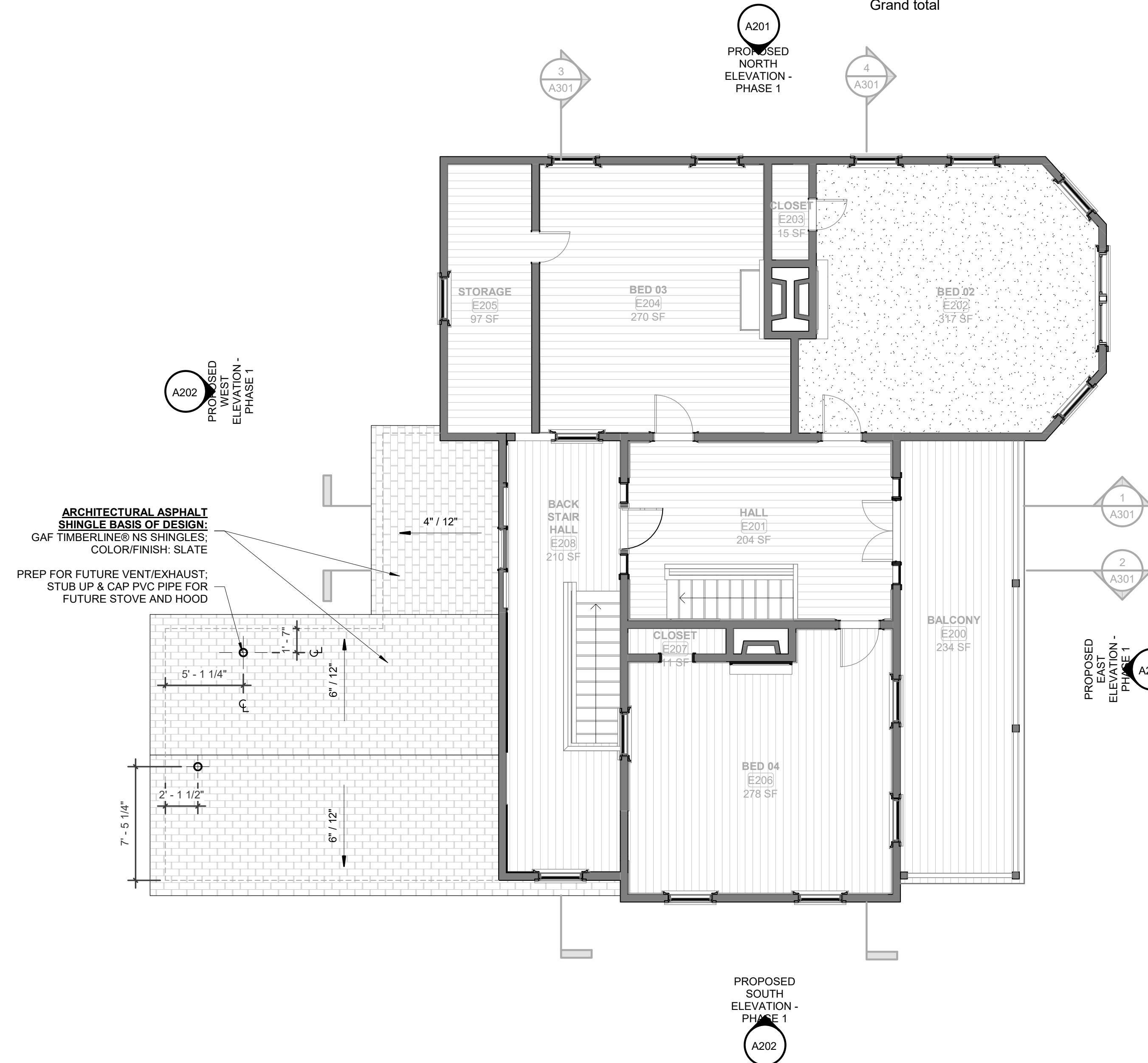
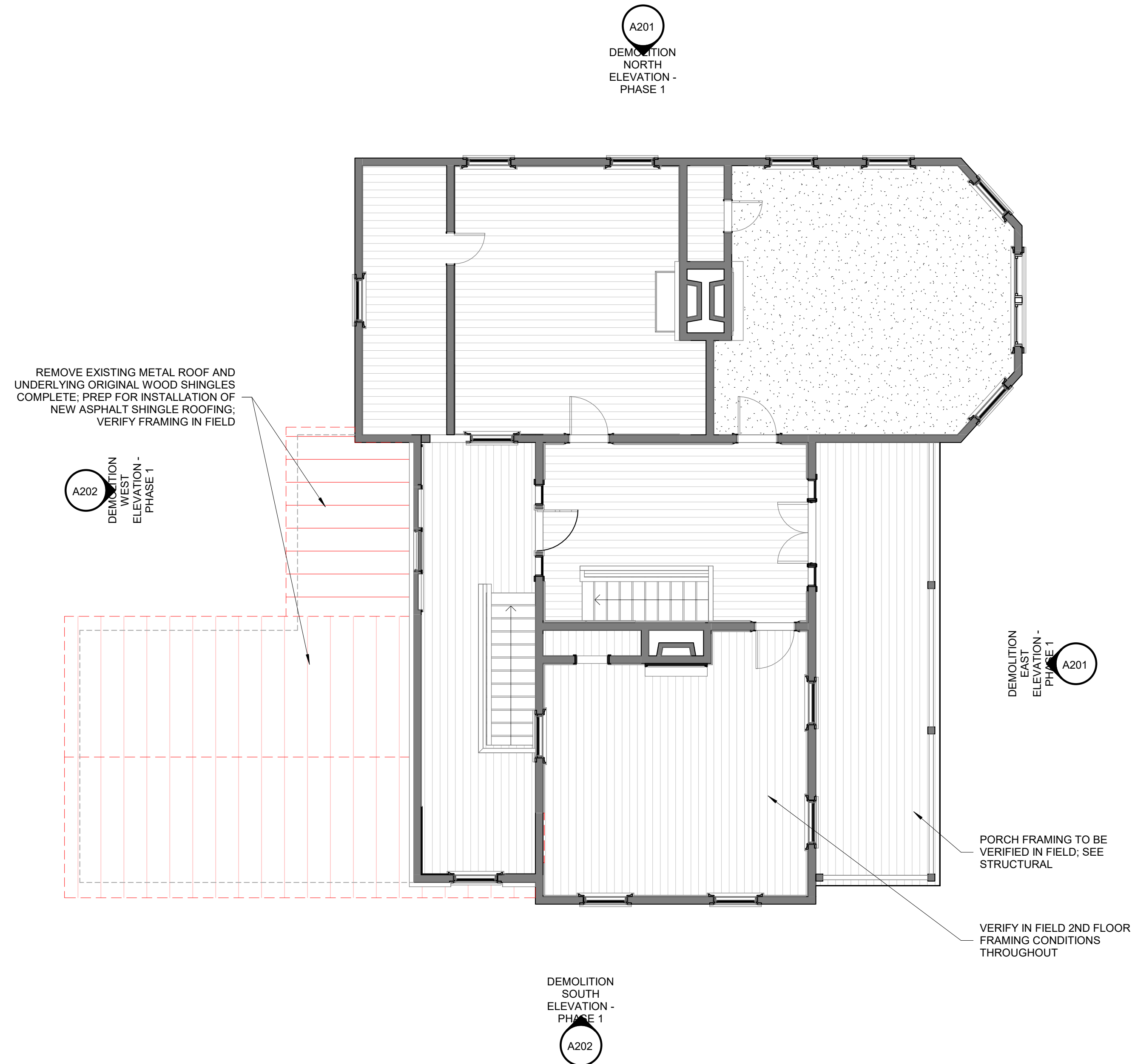
- EXISTING WALL
- NEW WALL

**SQUARE FOOTAGE REPORT - EXISTING**

Room Number	Room Name	Conditioned	Area (Conditioned)	Area (Unconditioned)
<b>01 - 1ST FLR</b>				
E100	PORCH	No		234 SF
E101	FOYER	Yes	197 SF	
E102	PARLOR	Yes	306 SF	
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E104	CLOSET	No		15 SF
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E106	DINING	Yes	286 SF	
E107	BREAKFAST	Yes	275 SF	
E108	CLOSET	No		13 SF
E109	POWDER	Yes	37 SF	
E110	KITCHEN	Yes	232 SF	
E111	STORAGE	Yes	90 SF	
			1757 SF	262 SF

<b>02 - 2ND FLR</b>				
E200	BALCONY	No		234 SF
E201	HALL	Yes	204 SF	
E202	BED 02	Yes	317 SF	
E203	CLOSET	No		15 SF
E204	BED 03	Yes	270 SF	
E205	STORAGE	No		97 SF
E206	BED 04	Yes	278 SF	
E207	CLOSET	No		11 SF
E208	BACK STAIR HALL	Yes	210 SF	
			1279 SF	357 SF

Grand total 3035 SF 619 SF

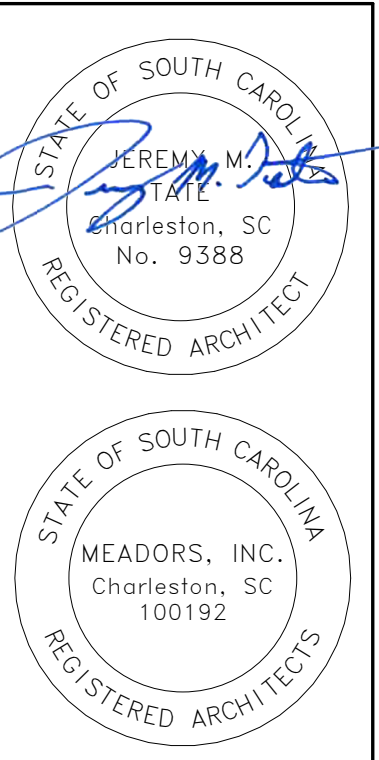


① 02 - DEMOLITION 2ND FLR PLAN - PHASE 1  
3/16" = 1'-0"

② 02 - PROPOSED 2ND FLR DIMENSION PLAN - PHASE 1  
3/16" = 1'-0"

**MEADORS**  
SINCE 1984

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**EPPS-MCGILL FARMHOUSE**  
679 Eastland Ave  
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Construction Documents  
**PHASE 1**

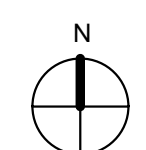
PROJ. NO. 20-0087  
ISSUE DATE: 02.05.2024

REVISIONS

#	DATE	NOTES

DEMOLITION & PROPOSED 2ND FLR PLAN

**A112**





**NOTES:**

1. REMOVE EXISTING METAL 5V ROOF, WOOD SHINGLES AND PURLINS BENEATH PRIOR TO NEW INSTALLATION.
2. INSTALL SHEATHING OVER EXISTING RAFTERS AS A BASE FOR NEW ROOFING SYSTEM.

**GENERAL DEMOLITION NOTES:**

1. DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
2. EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
3. VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
4. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD-BEARING OR IS ADEQUATELY SHORED PRIOR TO STARTING ANY WORK.
5. TERMINATE AND CAP ANY UTILITY TO BE REMOVED AND NOT INTENDED FOR REUSE.
6. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE MANNER.
7. THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANY/ALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE REMOVED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

**DEMO LEGEND**

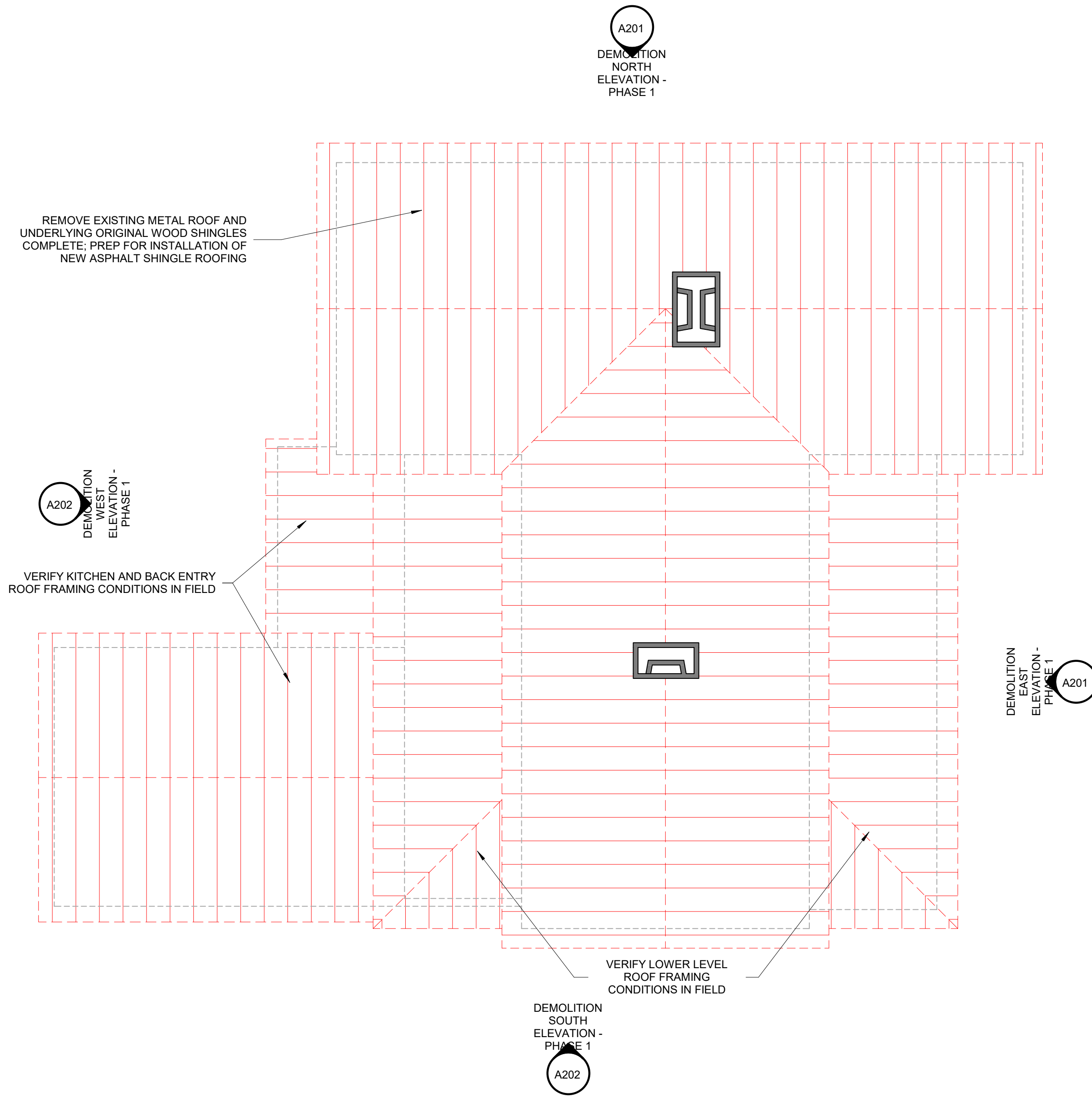
- DEMOLISH
- EXISTING TO REMAIN

**GENERAL FLOOR PLAN NOTES:**

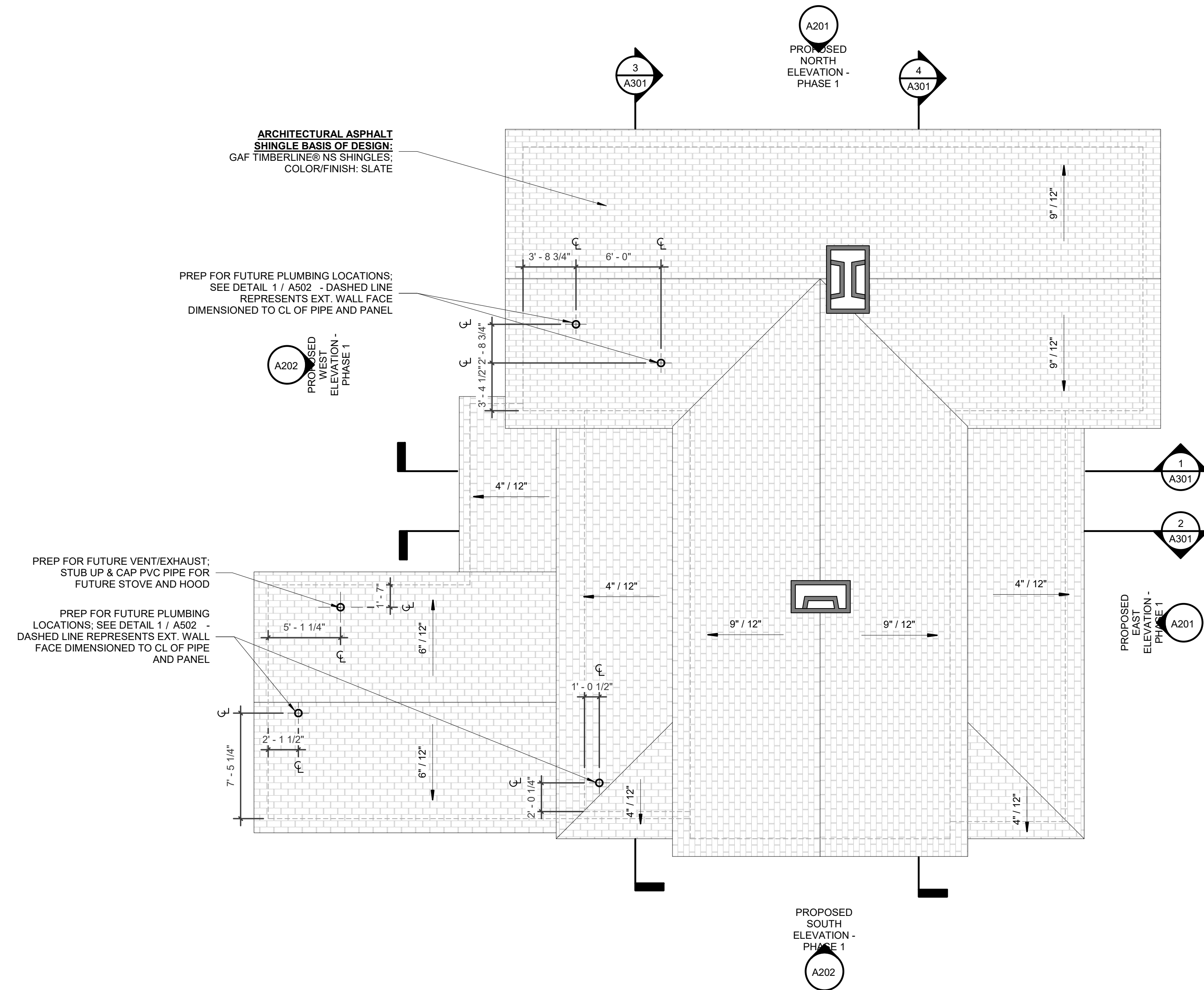
1. EXISTING WALLS ARE DIMENSIONED TO FACE OF WALL FINISH
2. EXISTING DOORS AND WINDOWS ARE DIMENSIONED TO FINISHED OPENING
3. NEW WALLS ARE DIMENSIONED TO FACE OF STUD OR MASONRY
4. NEW DOORS ARE DIMENSIONED TO ROUGH OPENING
5. NEW WINDOWS ARE DIMENSIONED TO CENTER LINE OF OPENING

**WALL LEGEND**

- EXISTING WALL
- NEW WALL



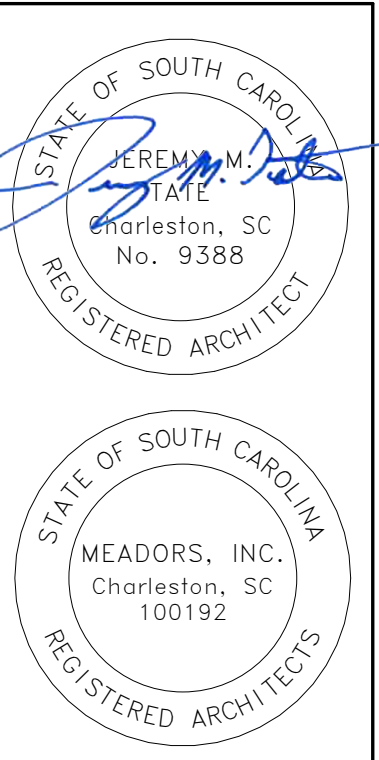
① 03 - DEMOLITION ROOF PLAN - PHASE 1  
3/16" = 1'-0"



② 03 - PROPOSED ROOF DIMENSION PLAN - PHASE 1  
3/16" = 1'-0"

**MEADORS**  
SINCE 1984

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**EPPS-MCGILL FARMHOUSE**

679 Eastland Ave  
Kingstree, South Carolina 29556

Construction Documents  
-  
**PHASE 1**

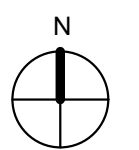
PROJ. NO. 20-0087  
ISSUE DATE: 02.05.2024

REVISIONS

#	DATE	NOTES

DEMOLITION & PROPOSED ROOF PLAN

**A113**



**DEMO LEGEND**

- DEMOLISH
- EXISTING TO REMAIN

**NOTES:**

1. SEE SHEET A002 FOR NOTES REGARDING EXTERIOR MILLWORK / WOODWORK; REFER TO SECTION 062012 "EXTERIOR FINISH CARPENTRY" FOR ADDITIONAL INFORMATION.

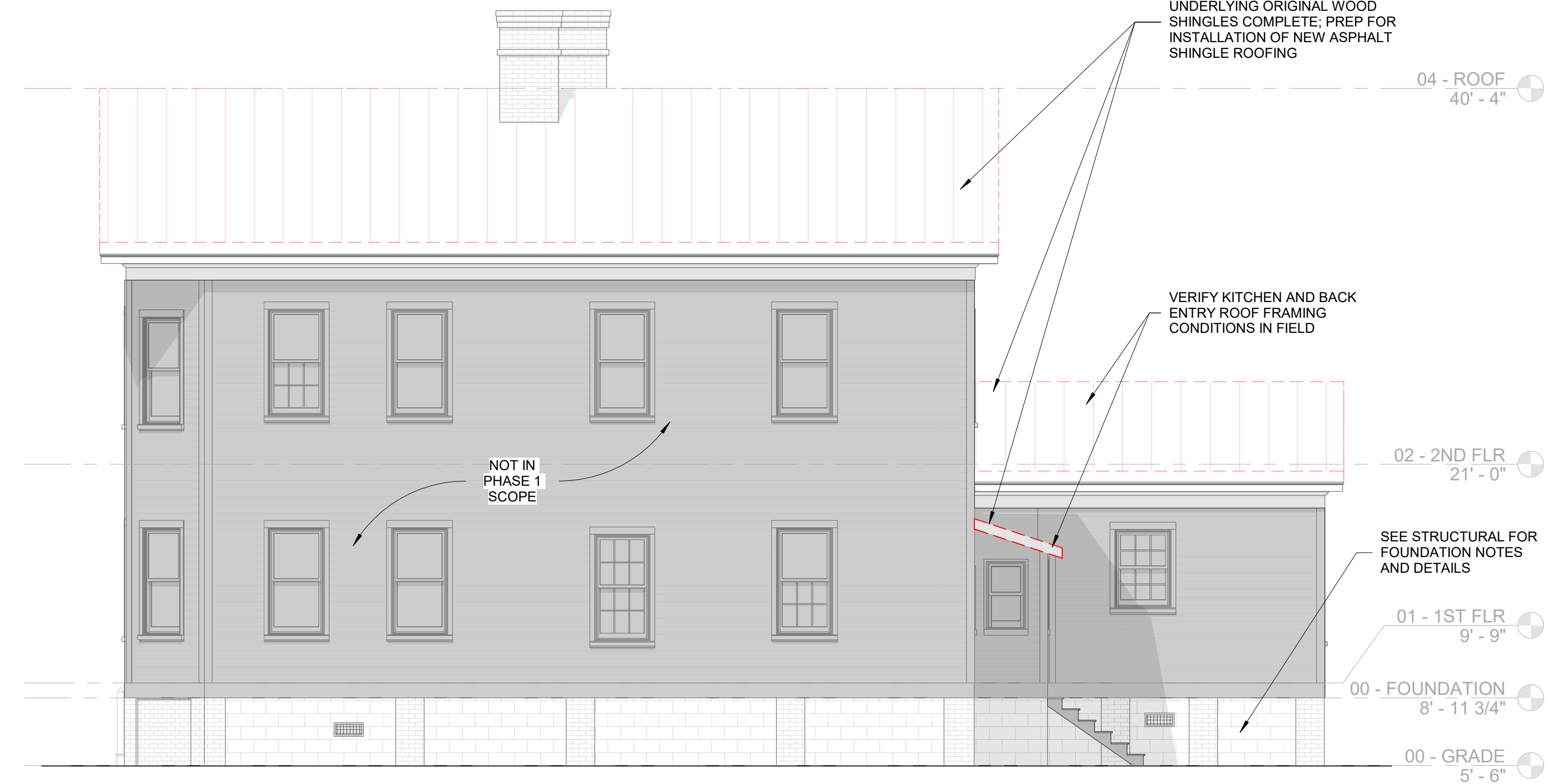
**GENERAL NOTE ON INTERIOR & EXTERIOR PAINTING**

CONTRACTOR TO ENSURE FINISHES ARE FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS. ALL HARD EDGES OF PAINT TO BE FEATHERED SO THAT VARIATIONS IN PAINT THICKNESS ARE NOT VISIBLE. DUE TO THE CONDITION OF THE EXTERIOR PAINT, COMPONENTS MAY REQUIRE COMPLETE PAINT REMOVAL TO ACHIEVE STABLE, WELL ADHERED, AND VISIBLY HOMOGENOUS PAINT.

- A. ANY CUT OR NOTCHED EXTERIOR WOOD SHALL BE COATED WITH A WOOD OR EPOXY SEALER TO PROTECT END GRAINS FROM ABSORBING WATER.
- B. PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT ON EXISTING PAINTED ELEMENTS. NEW EXTERIOR WOOD SURFACES TO HAVE AN ADDITIONAL COAT OF OIL BASED PRIMER.
- C. REMOVE OVERPRINTING BOTH NEW AND OLD FROM ALL GLASS AND HARDWARE INTENDED TO BE AN UNPAINTED METAL SURFACE.
- D. INTERIOR AND EXTERIOR WOOD-PATCHING COMPOUND SHALL BE TWO-PART, EPOXY-RESIN (WEST SYSTEM 5:1, ABATRON 2:1, OR APPROVED EQUAL).
- E. METAL-PATCHING COMPOUND SHALL BE TWO-PART, POLYESTER-RESIN (ABATRON; FERROBOND P., OR APPROVED EQUAL).



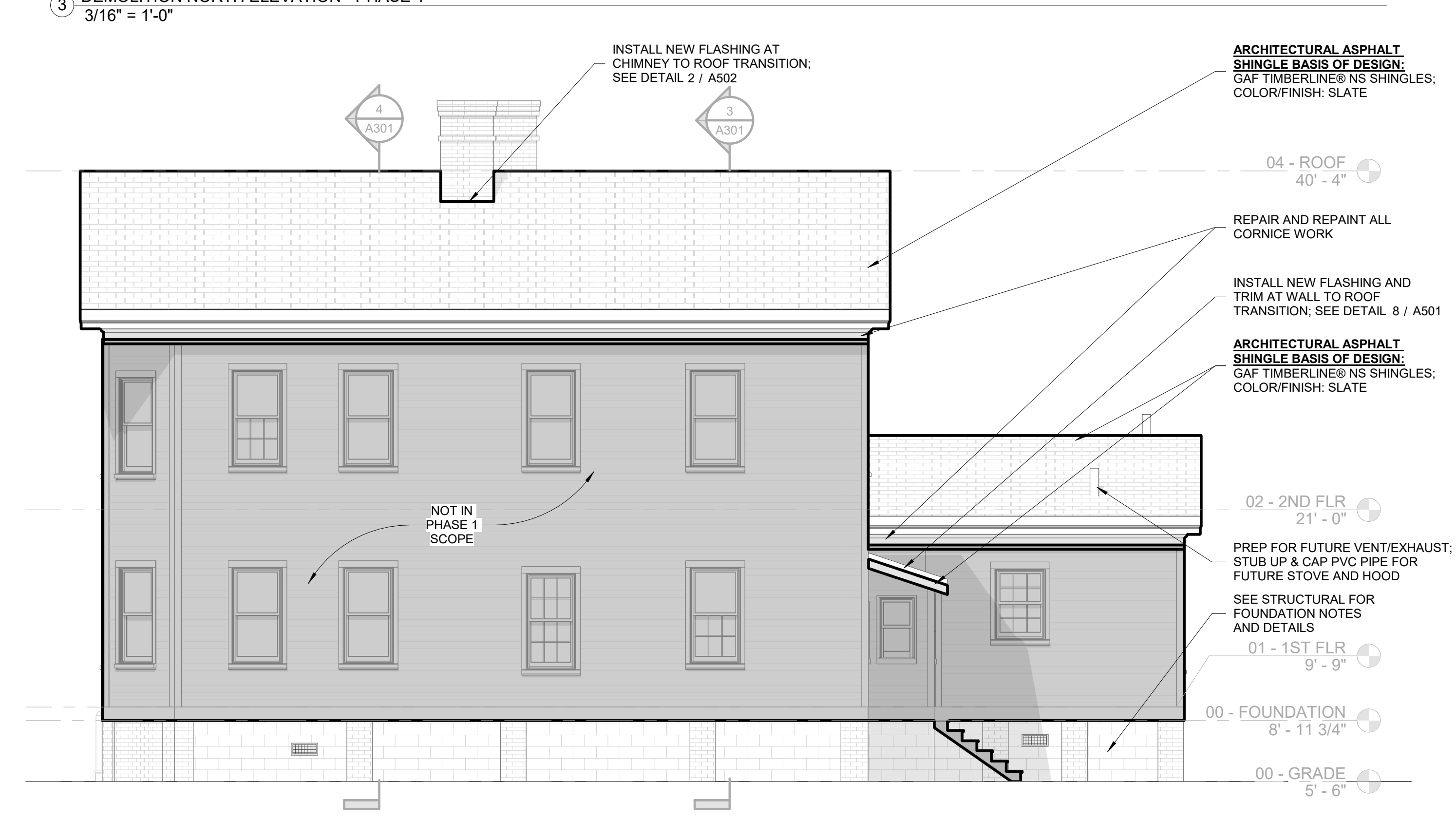
① DEMOLITION EAST ELEVATION - PHASE 1  
3/16" = 1'-0"



③ DEMOLITION NORTH ELEVATION - PHASE 1  
3/16" = 1'-0"



② PROPOSED EAST ELEVATION - PHASE 1  
3/16" = 1'-0"

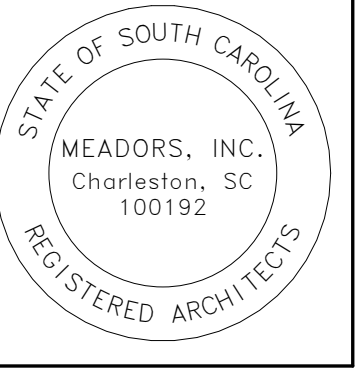


④ PROPOSED NORTH ELEVATION - PHASE 1  
3/16" = 1'-0"

**MEADORS**

SINCE 1984

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**EPPS-MCGILL FARMHOUSE**

679 Eastland Ave  
Kingstree, South Carolina 29566

Construction Documents  
**PHASE 1**

PROJ. NO. 20-0087  
ISSUE DATE: 02.05.2024

REVISIONS

#	DATE	NOTES

DEMOLITION & PROPOSED BUILDING ELEVATIONS

**A201**

**DEMO LEGEND**

- DEMOLISH
- EXISTING TO REMAIN

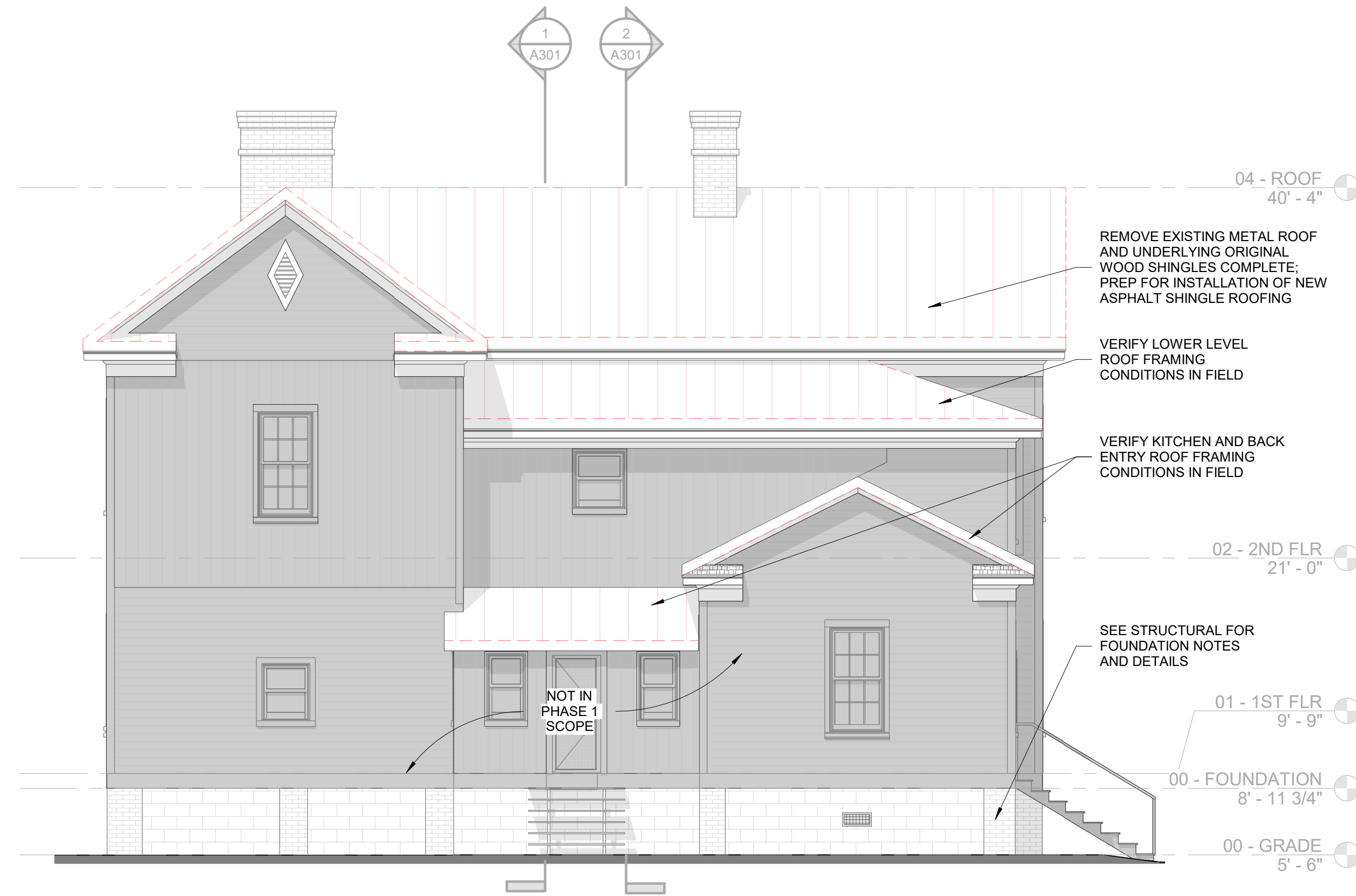
**NOTES:**

1. SEE SHEET A002 FOR NOTES REGARDING EXTERIOR MILLWORK / WOODWORK; REFER TO SECTION 062012 "EXTERIOR FINISH CARPENTRY" FOR ADDITIONAL INFORMATION.

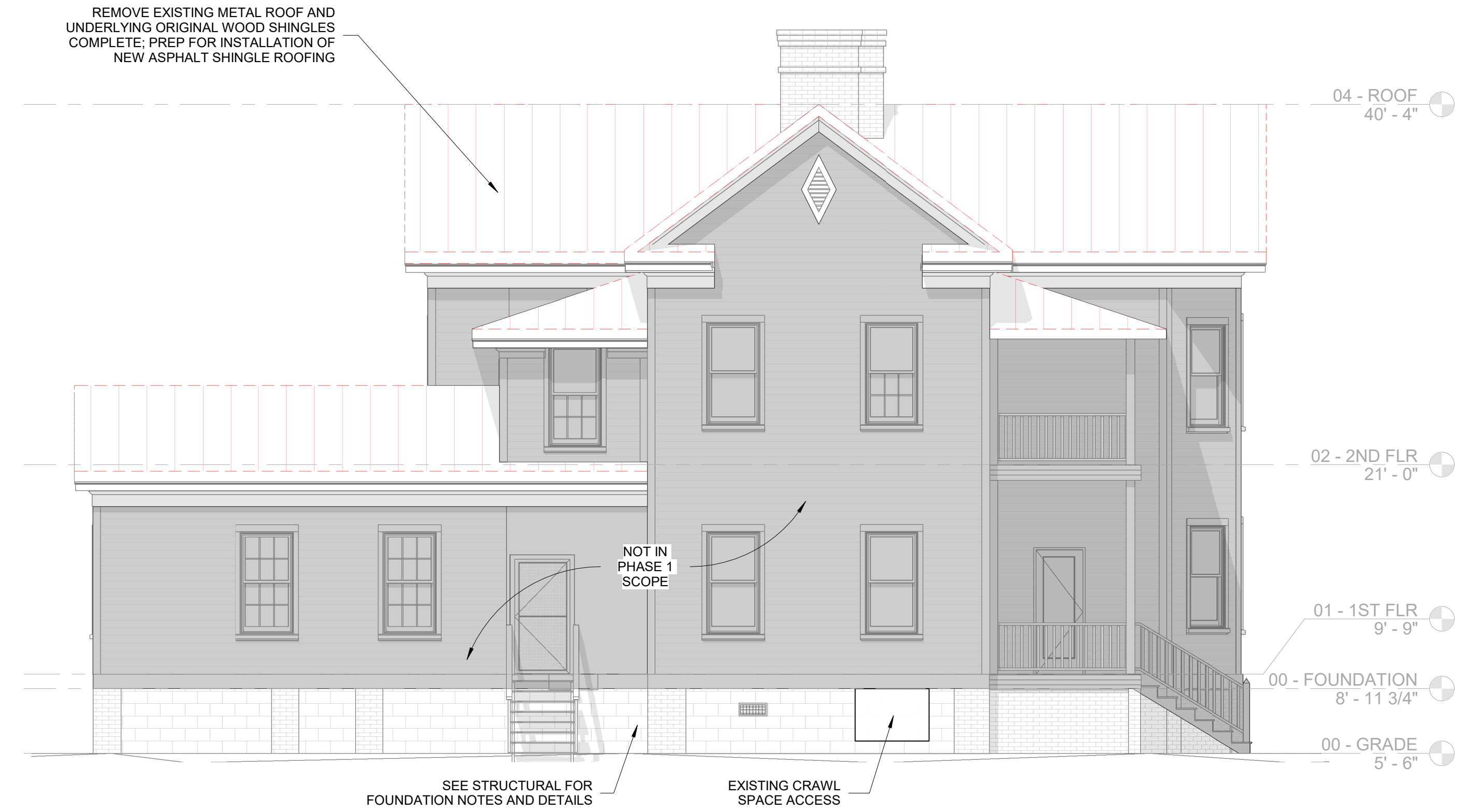
**GENERAL NOTE ON INTERIOR & EXTERIOR PAINTING**

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- C. REMOVE OVERPRINTING BOTH NEW AND OLD FROM ALL GLASS AND HARDWARE INTENDED TO BE AN UNPAINTED METAL SURFACE.
- D. INTERIOR AND EXTERIOR WOOD-PATCHING COMPOUND SHALL BE TWO-PART, EPOXY-RESIN (WEST SYSTEM 5:1, ABATRON 2:1, OR APPROVED EQUAL).
- E. METAL-PATCHING COMPOUND SHALL BE TWO-PART, POLYESTER-RESIN (ABATRON; FERROBOND P., OR APPROVED EQUAL).



① DEMOLITION WEST ELEVATION - PHASE 1  
3/16" = 1'-0"



③ DEMOLITION SOUTH ELEVATION - PHASE 1  
3/16" = 1'-0"



② PROPOSED WEST ELEVATION - PHASE 1  
3/16" = 1'-0"

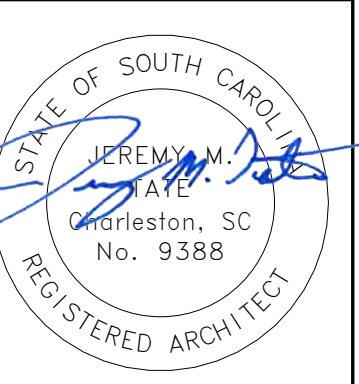


④ PROPOSED SOUTH ELEVATION - PHASE 1  
3/16" = 1'-0"

**MEADORS**

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



**EPPS-MCGILL FARMHOUSE**

679 Eastland Ave  
Kingstree, South Carolina 29566

**Construction Documents**  
-  
**PHASE 1**

PROJ. NO. 20-0087  
ISSUE DATE: 02.05.2024

REVISIONS

#	DATE	NOTES

**DEMOLITION & PROPOSED BUILDING ELEVATIONS**

**A202**

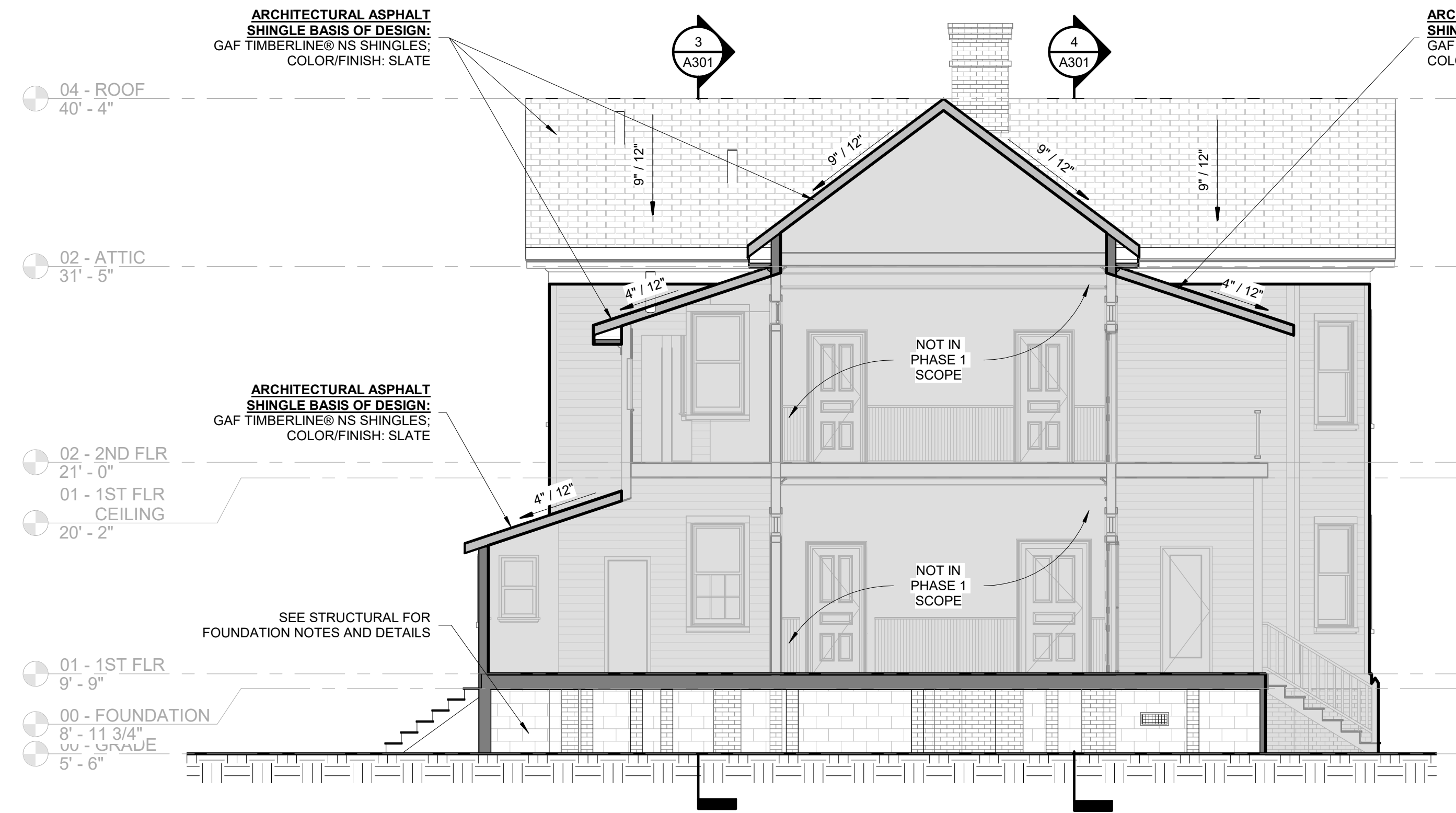
**NOTES:**

1. SEE STRUCTURAL FOR FRAMING AND FOUNDATION NOTES.
2. SEE SHEET A002 FOR NOTES REGARDING EXTERIOR MILLWORK / WOODWORK; REFER TO SECTION 062012 "EXTERIOR FINISH CARPENTRY" FOR ADDITIONAL INFORMATION.

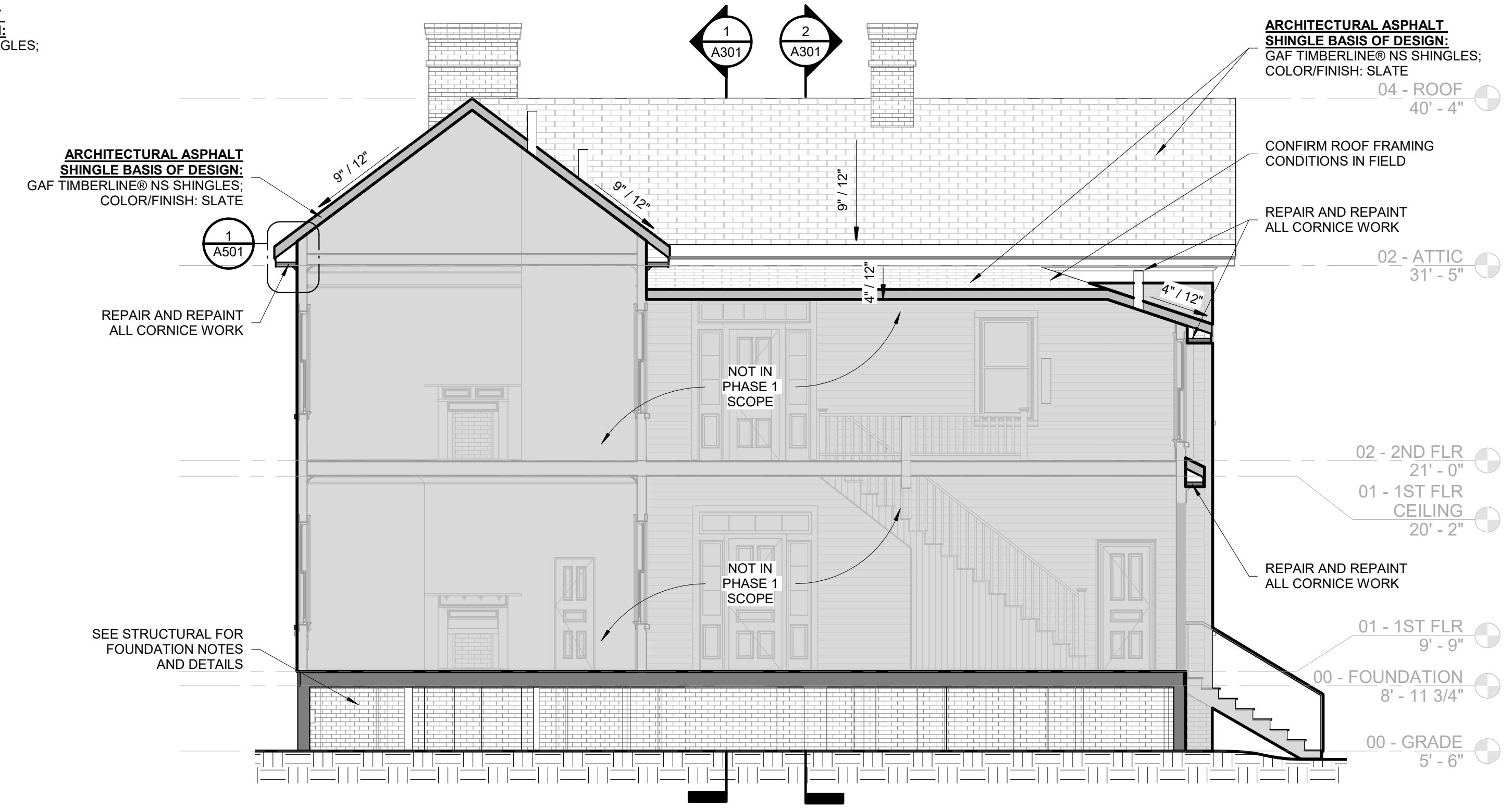
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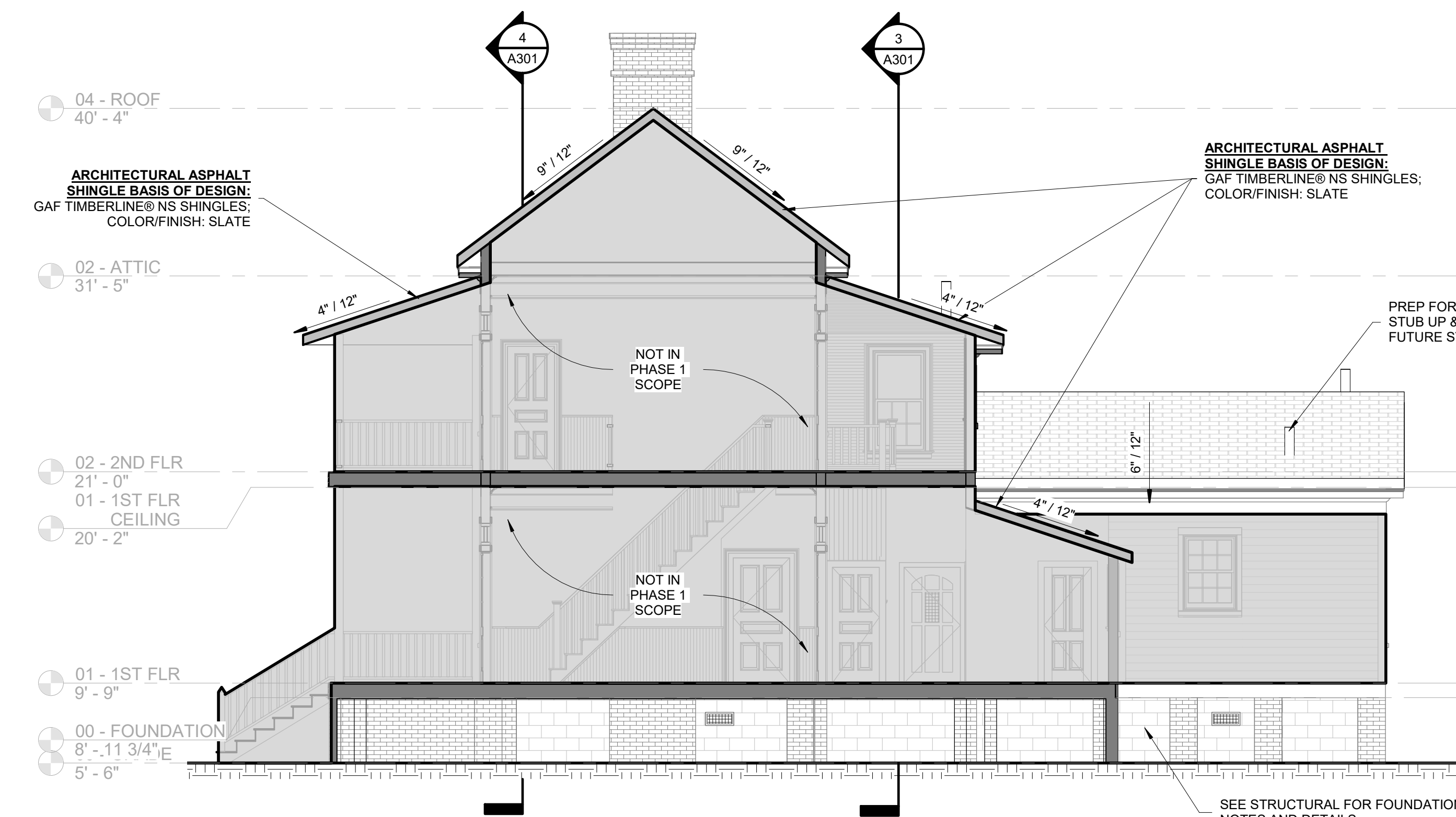
- A. ANY CUT OR NOTCHED EXTERIOR WOOD SHALL BE COATED WITH A WOOD OR EPOXY SEALER TO PROTECT END GRAINS FROM ABSORBING WATER.
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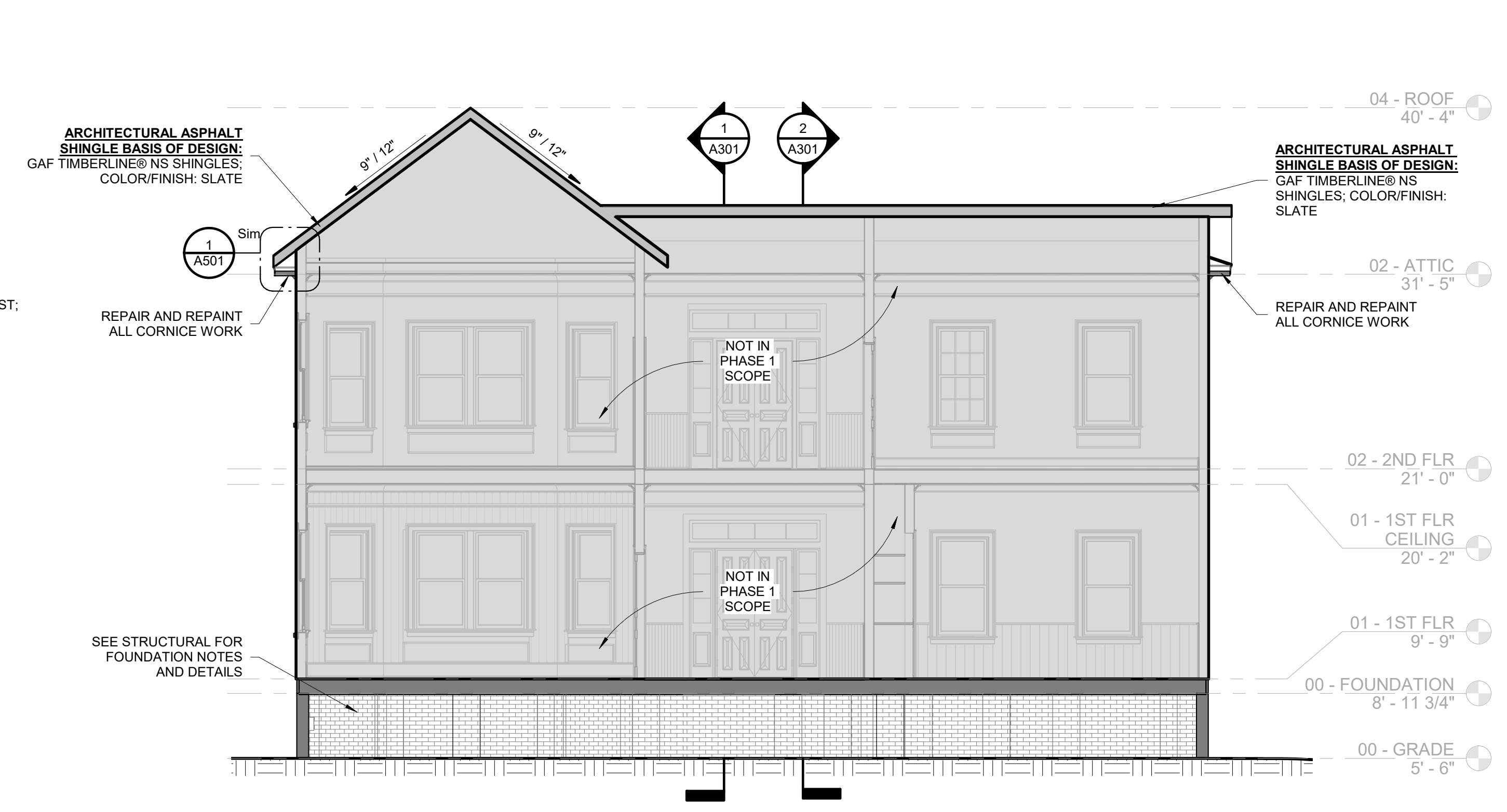
1 SECTION E/W #1 - PHASE 1  
3/16" = 1'-0"



3 SECTION N/S #1 - PHASE 1  
3/16" = 1'-0"



2 SECTION E/W #2 - PHASE 1  
3/16" = 1'-0"

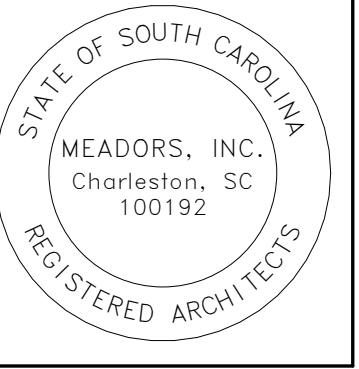
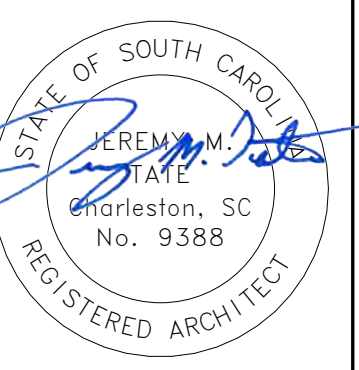


4 SECTION N/S #2 - PHASE 1  
3/16" = 1'-0"

**MEADORS**

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



**EPPS-MCGILL FARMHOUSE**

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Kingstree, South Carolina 29566

Construction Documents  
**PHASE 1**

PROJ. NO. 20-0087  
ISSUE DATE: 02.05.2024

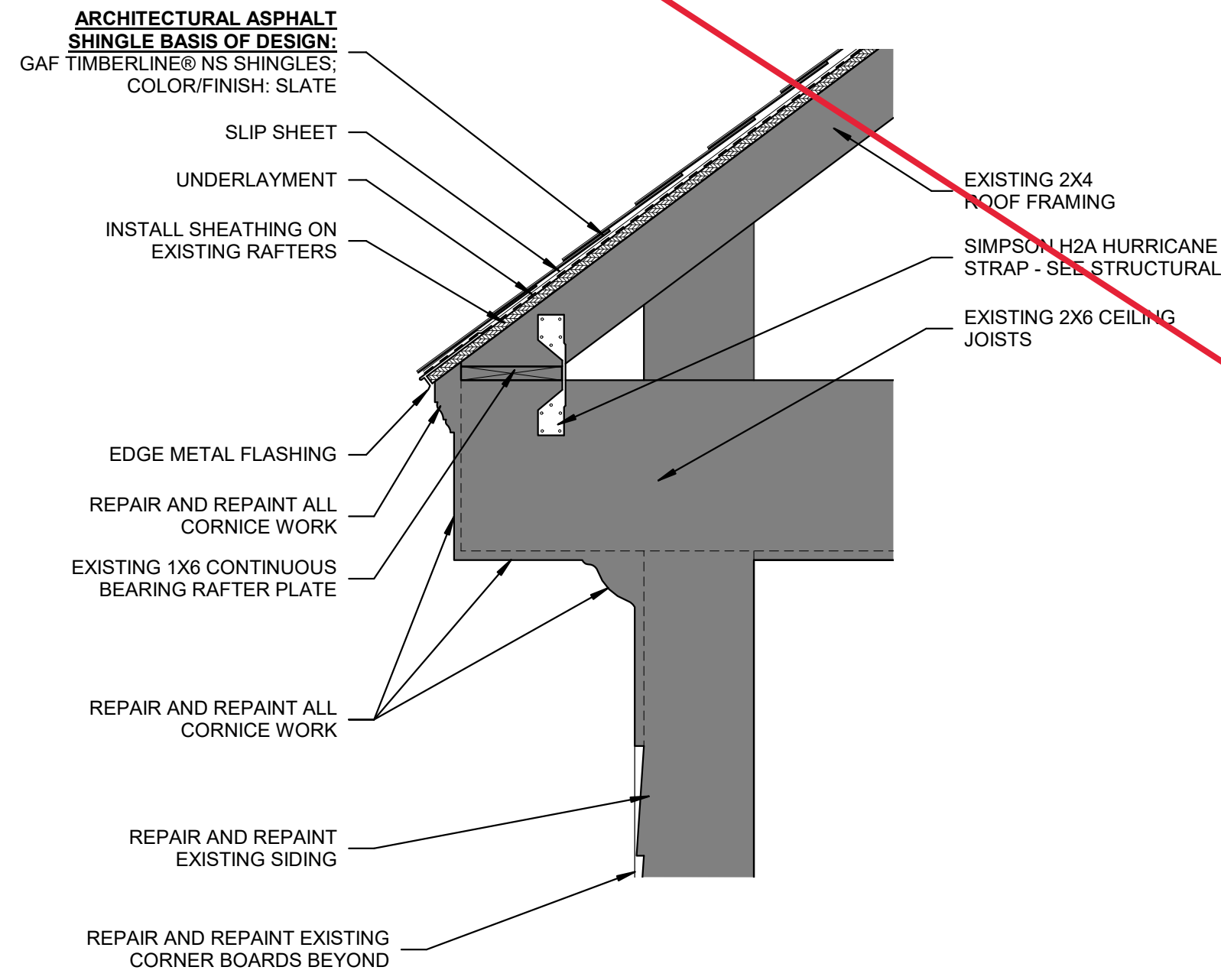
REVISIONS

#	DATE	NOTES
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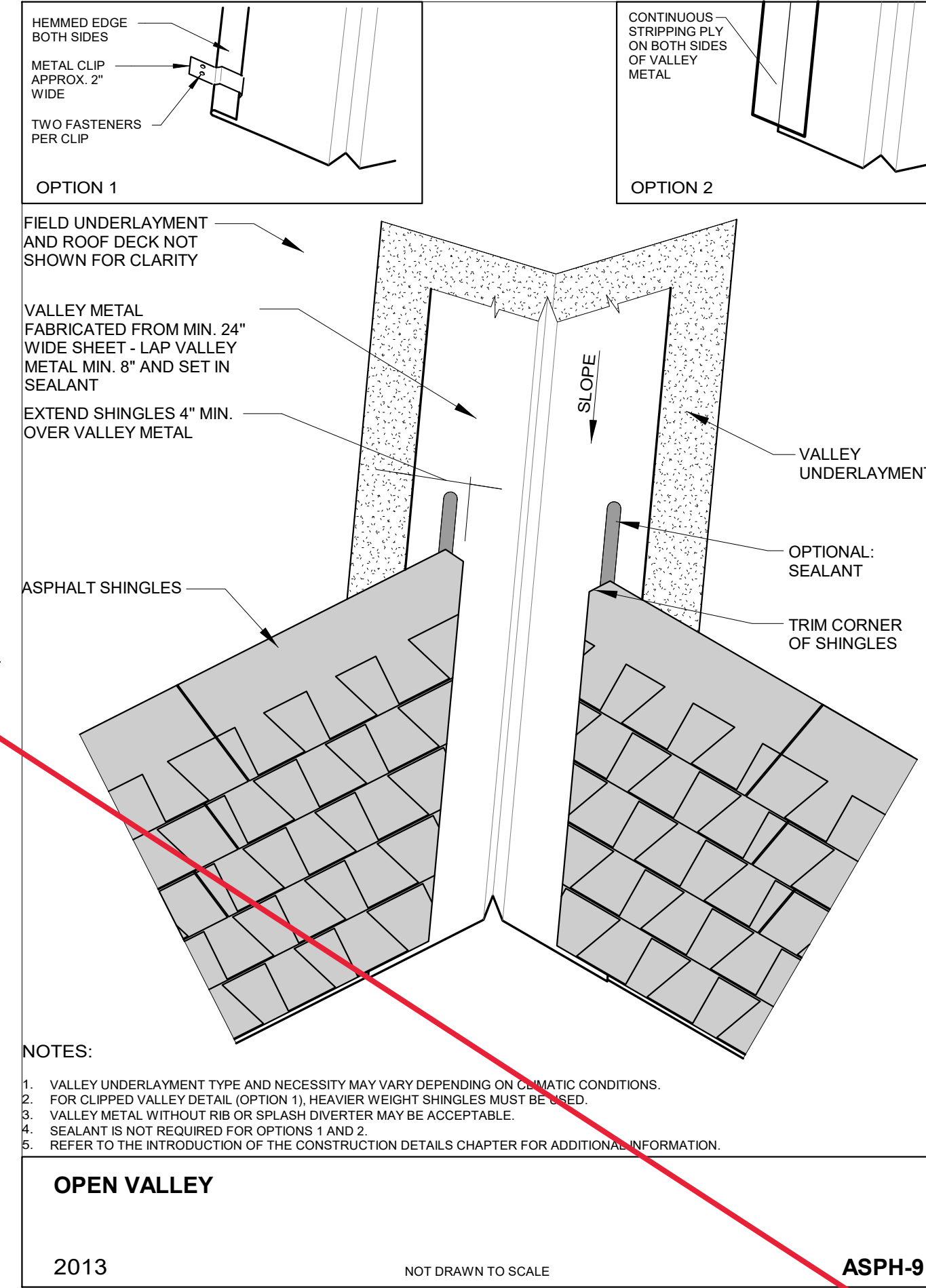
BUILDING SECTIONS

**A301**

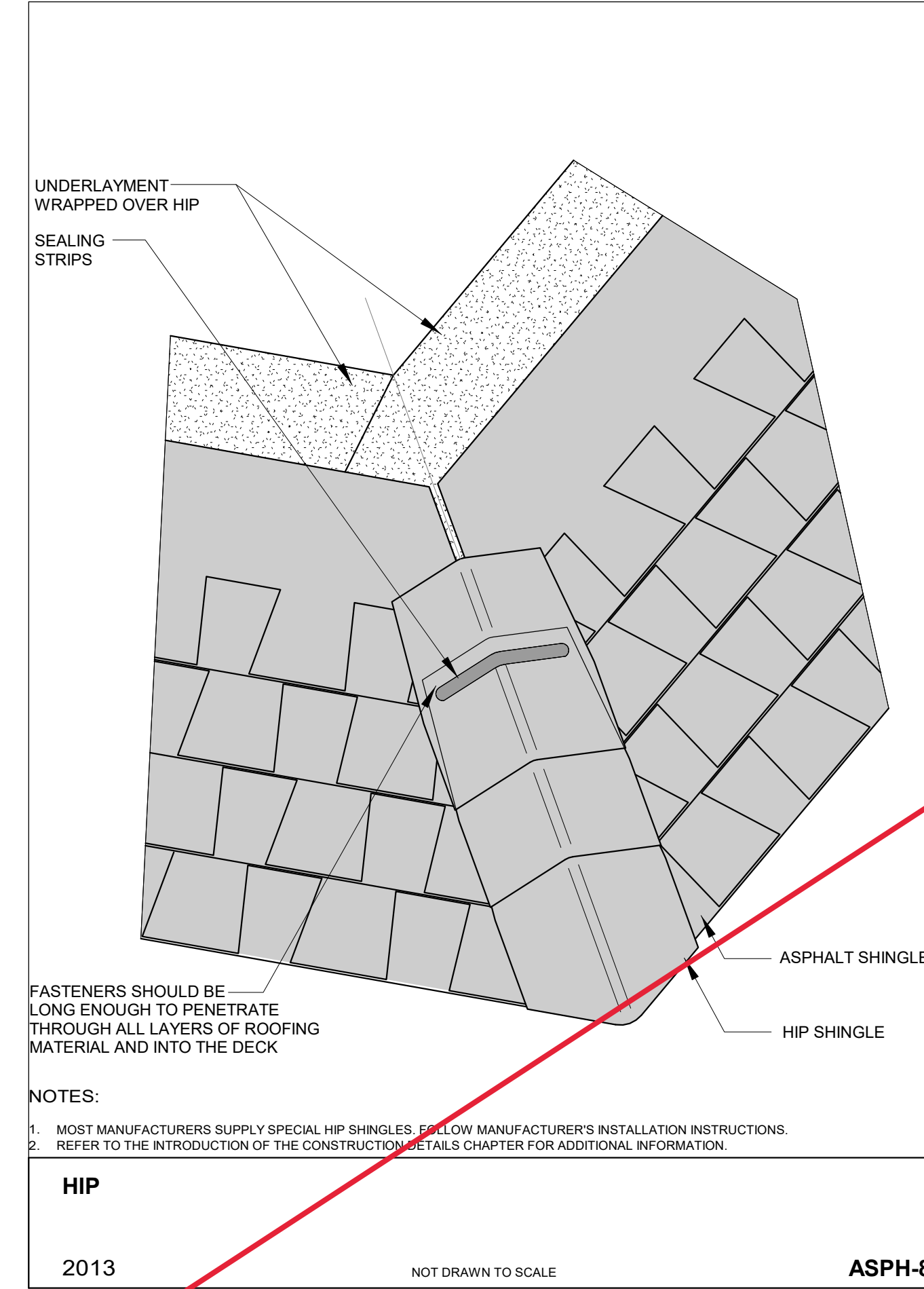
**ARCHITECTURAL ASPHALT SHINGLE BASIS OF DESIGN:**  
**GAF TIMBERLINE® NS SHINGLES;**  
**COLOR/FINISH: SLATE**



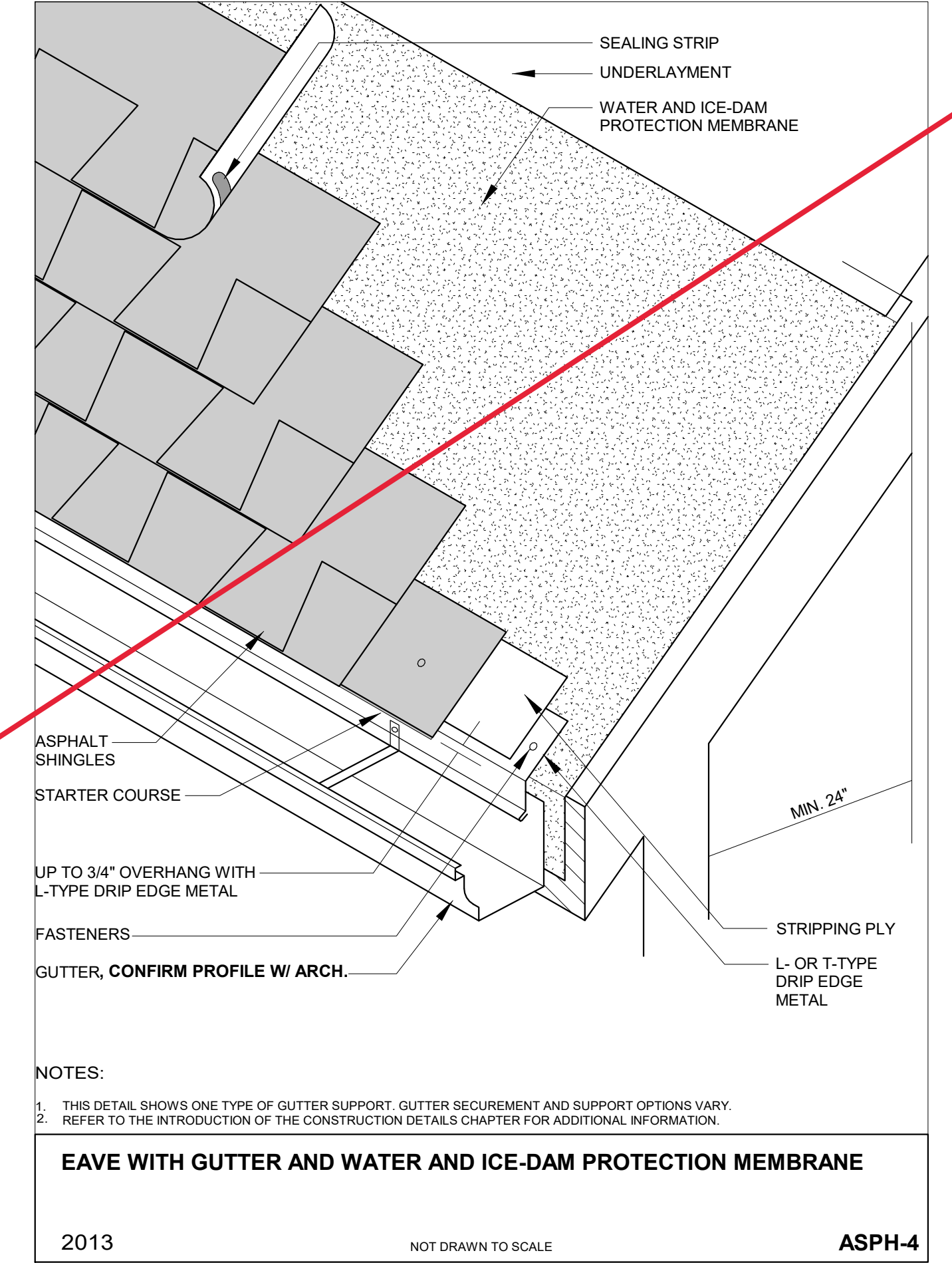
1 EAVE DETAIL  
 1 1/2" = 1'-0"



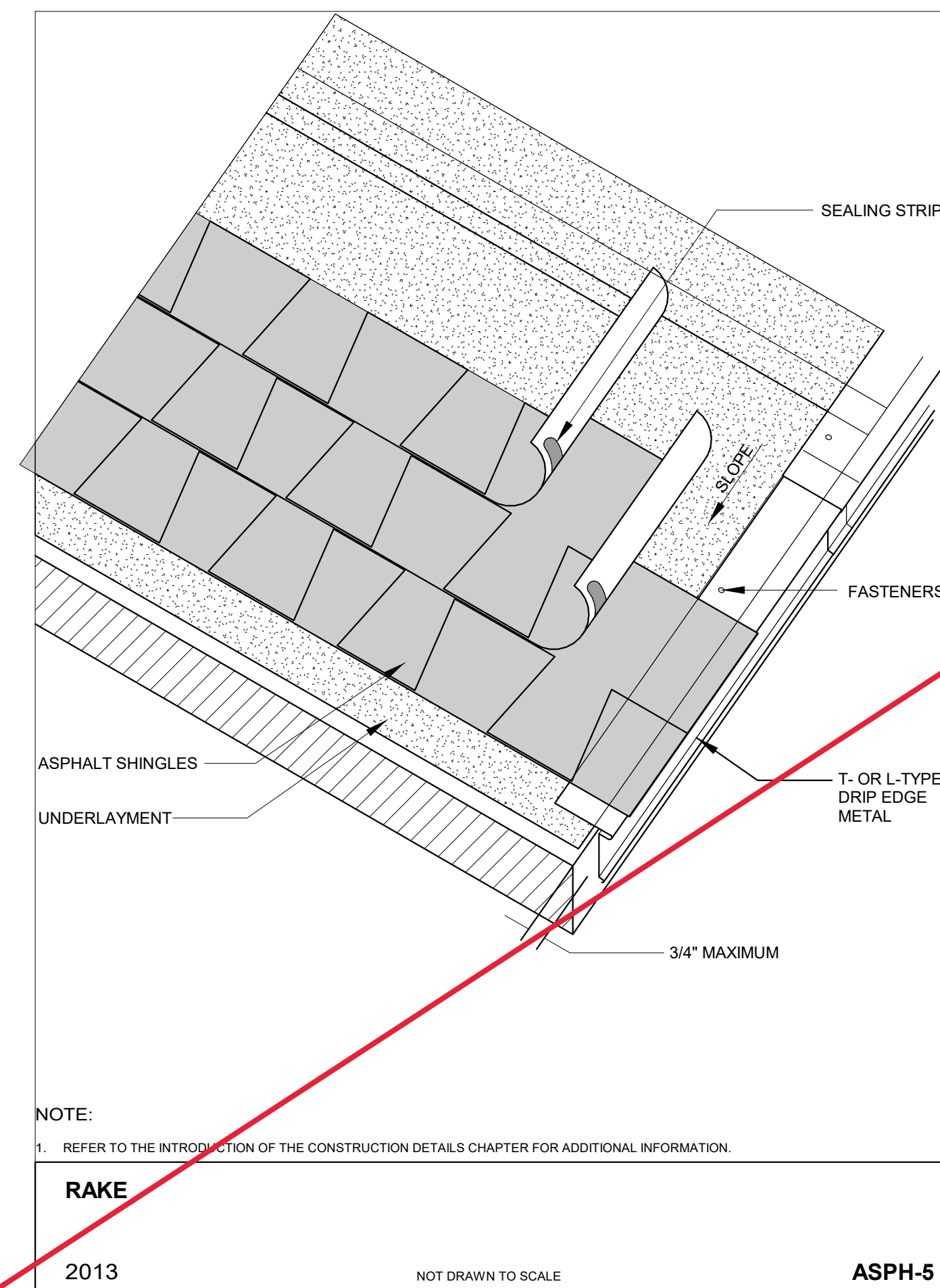
2 NCRA ASPH-9 Open Valley  
 12" = 1'-0"



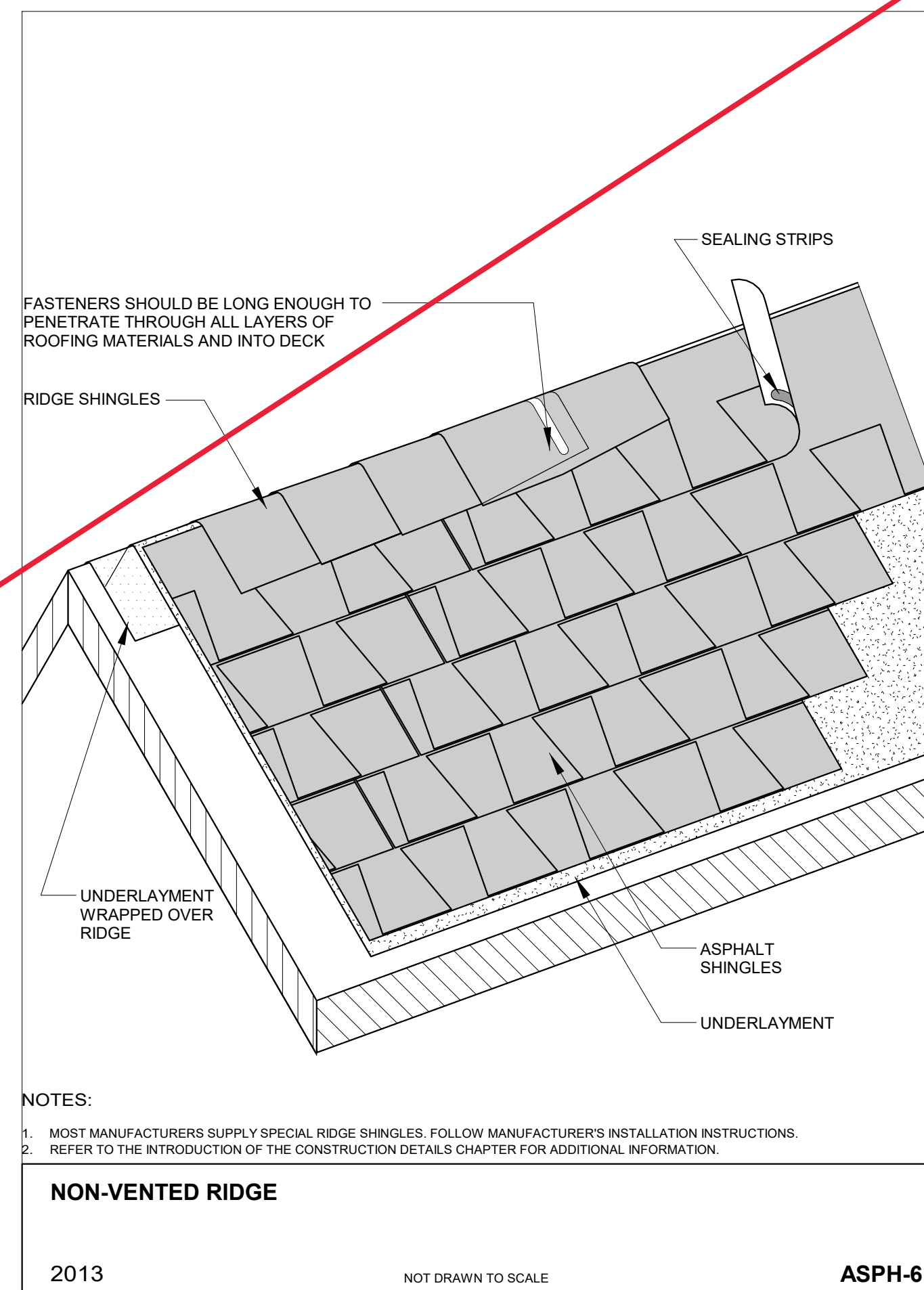
3 NCRA ASPH-8 Hip  
 12" = 1'-0"



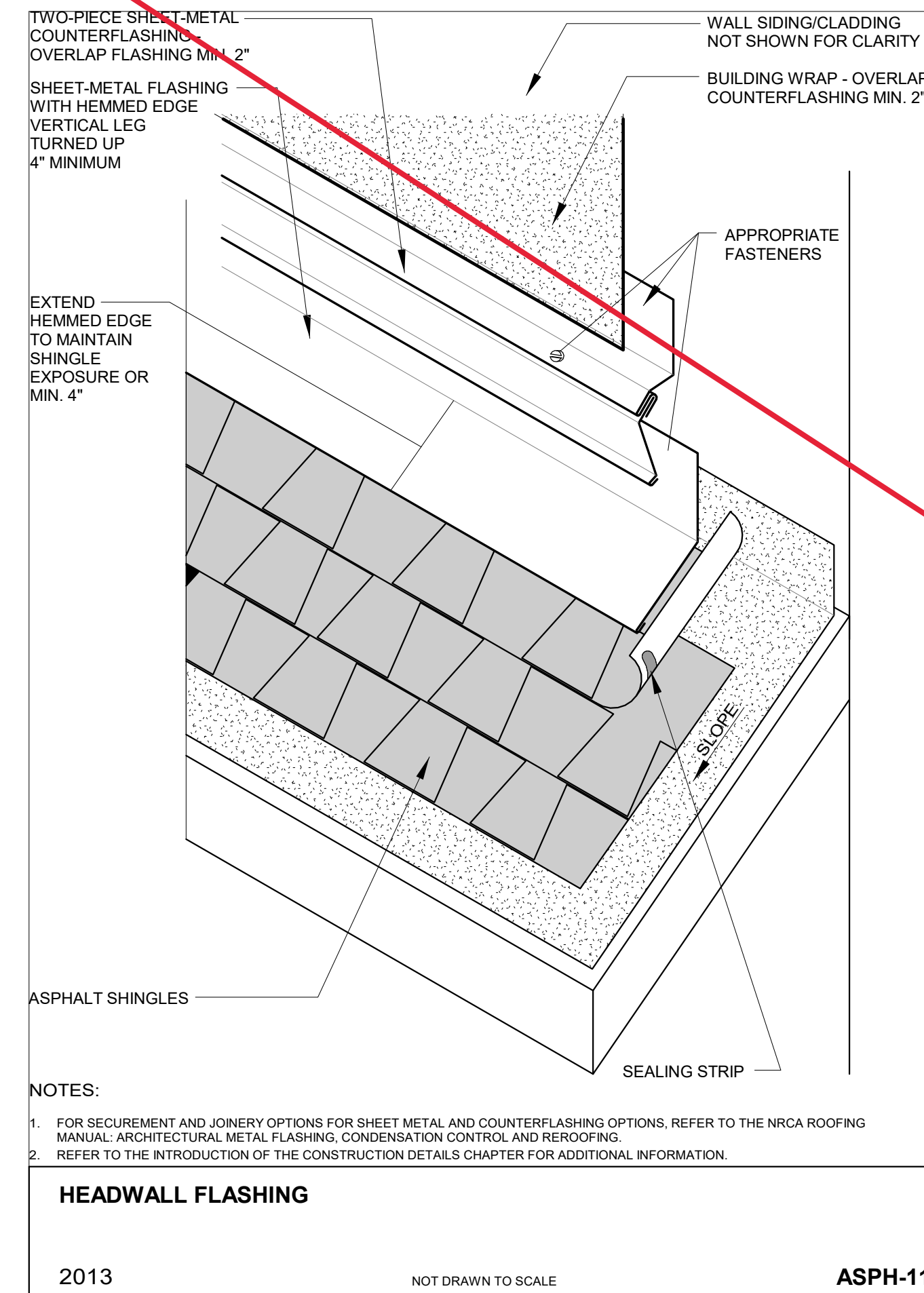
4 NCRA ASPH-4 Eave with Gutter  
 12" = 1'-0"



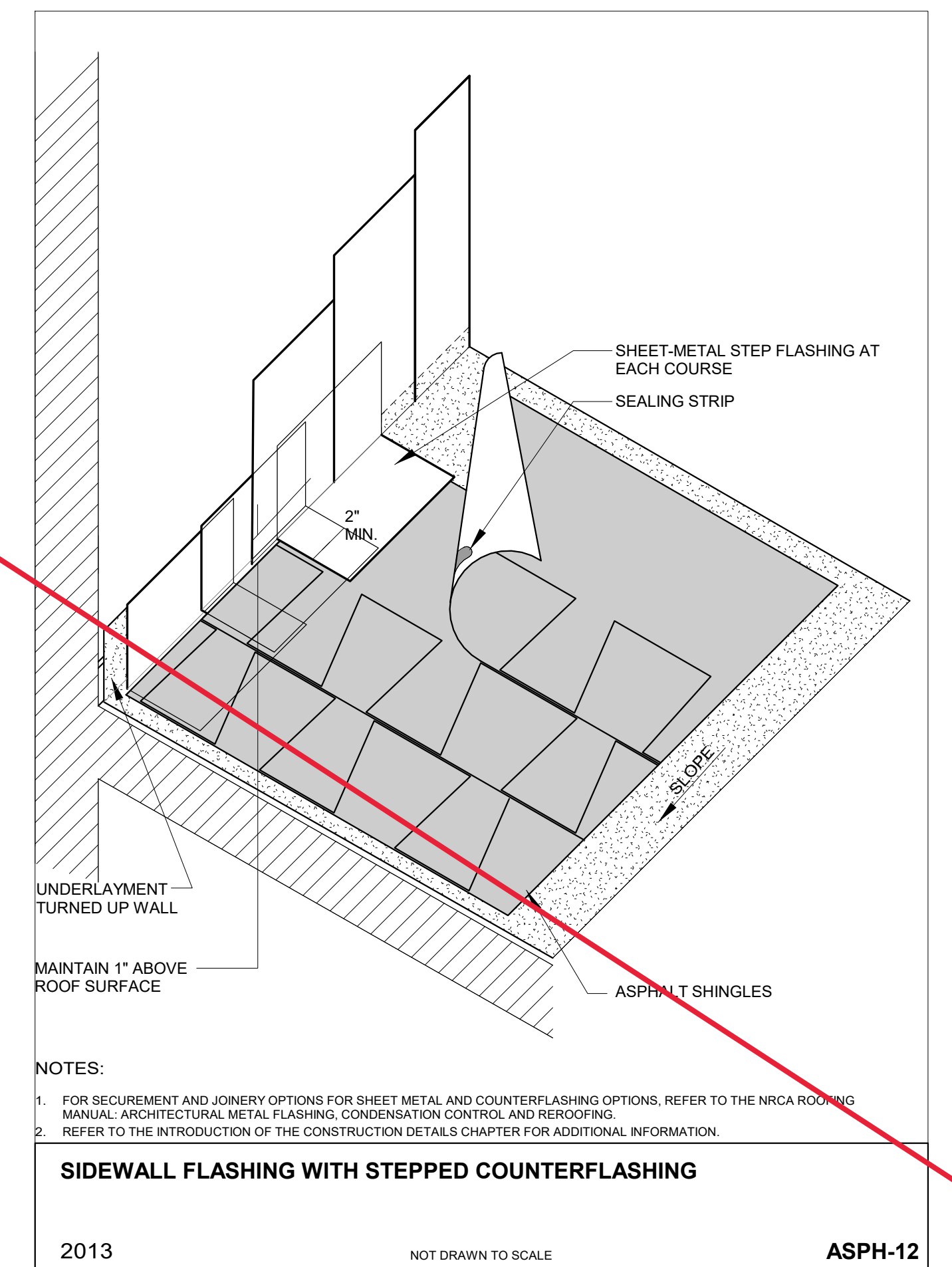
5 NCRA ASPH-5 Rake  
 12" = 1'-0"



6 NCRA ASPH-6 Non-Vented Ridge  
 12" = 1'-0"



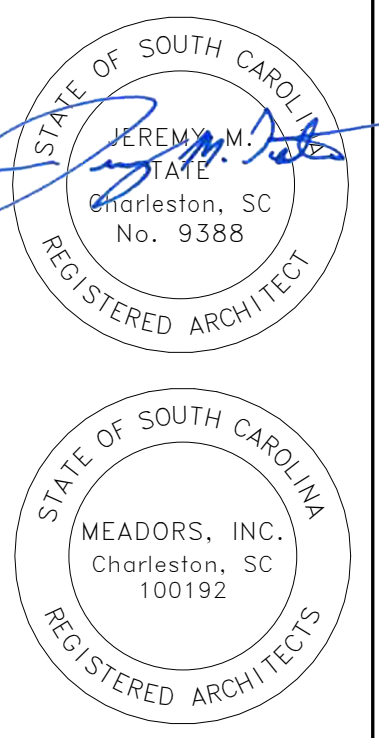
7 NCRA ASPH-11 Headwall Flashing  
 12" = 1'-0"



8 NCRA ASPH-12A Stepped Flashing  
 12" = 1'-0"

**MEADORS**  
 SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC ■ 843.723.8585



**EPPS-MCGILL FARMHOUSE**  
 679 Eastland Ave  
 Kingstree, South Carolina 29566

Construction Documents  
**PHASE 1**

PROJ. NO. 20-0087  
 ISSUE DATE: 02.05.2024

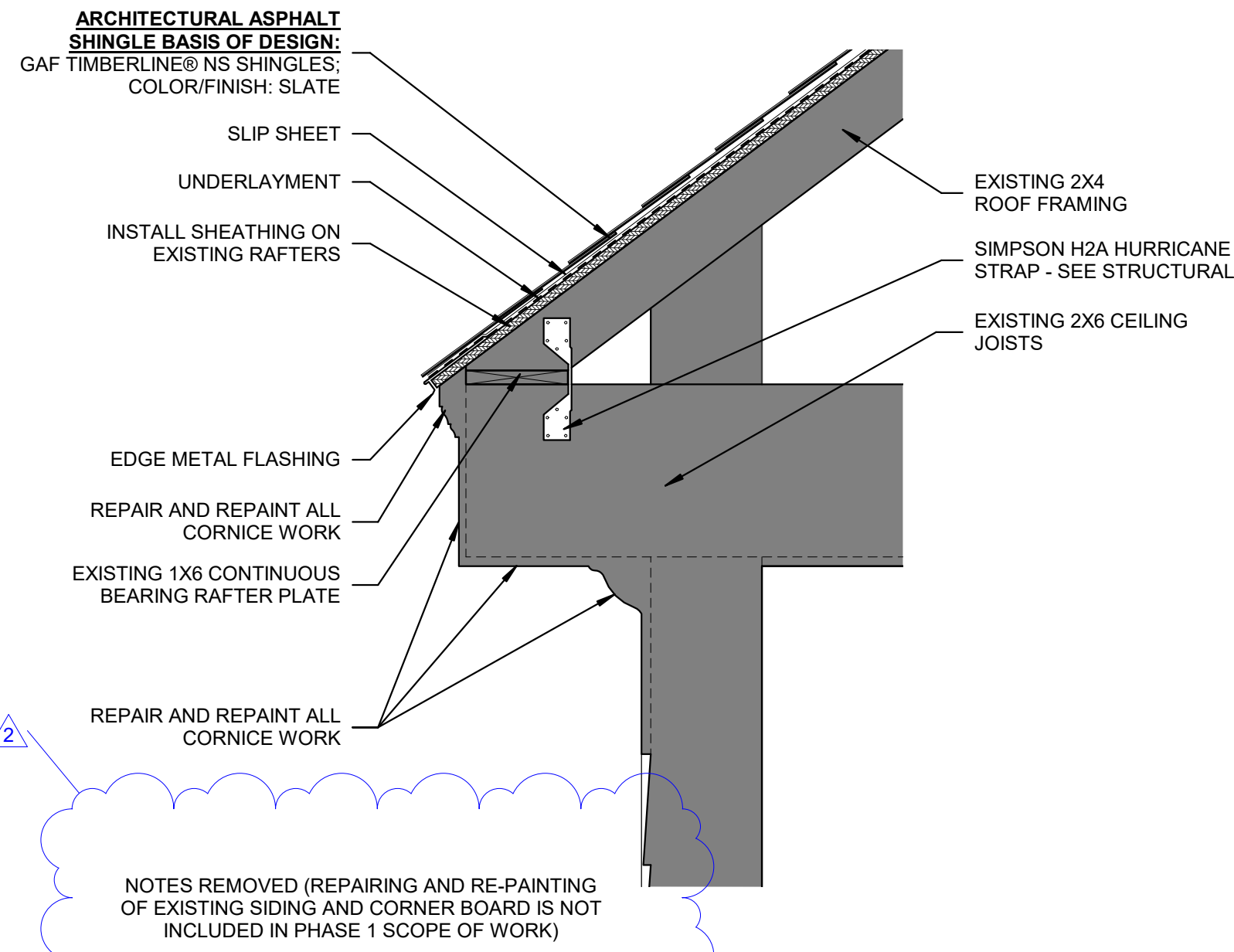
REVISIONS

#	DATE	NOTES

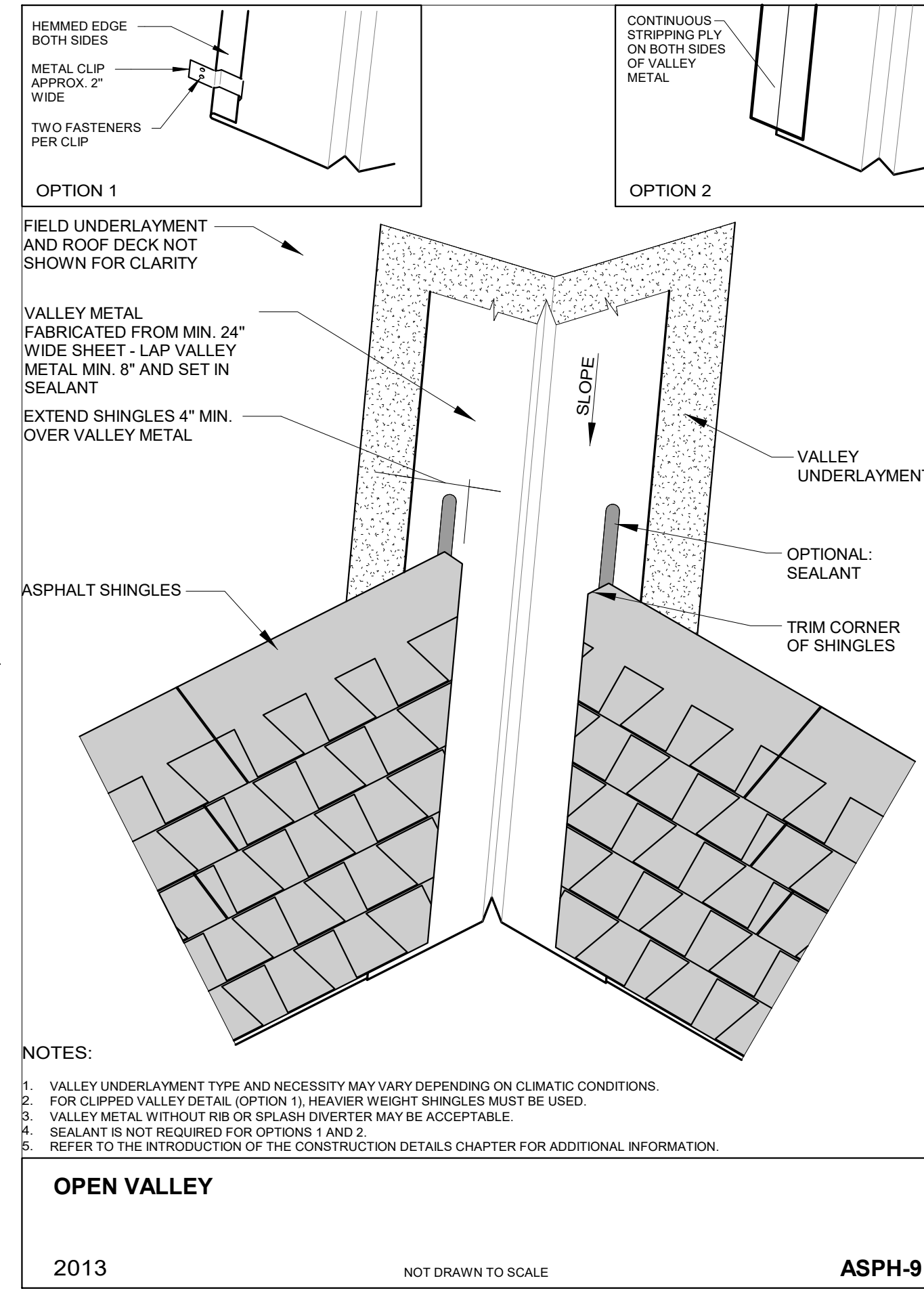
ROOF AND FLASHING DETAILS

**A501**

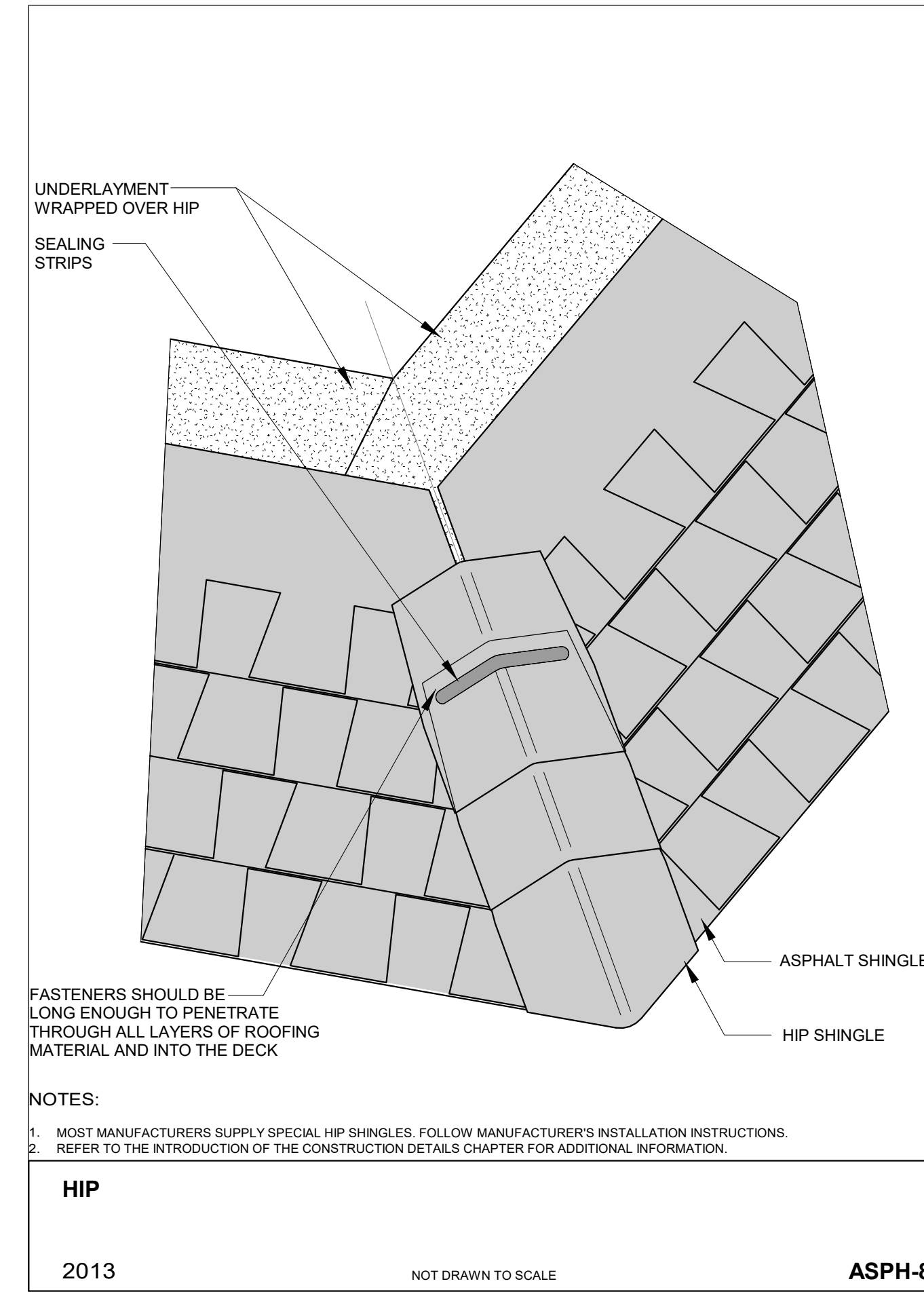
**ARCHITECTURAL ASPHALT SHINGLE BASIS OF DESIGN:**  
**GAF TIMBERLINE® NS SHINGLES;**  
**COLOR/FINISH: SLATE**



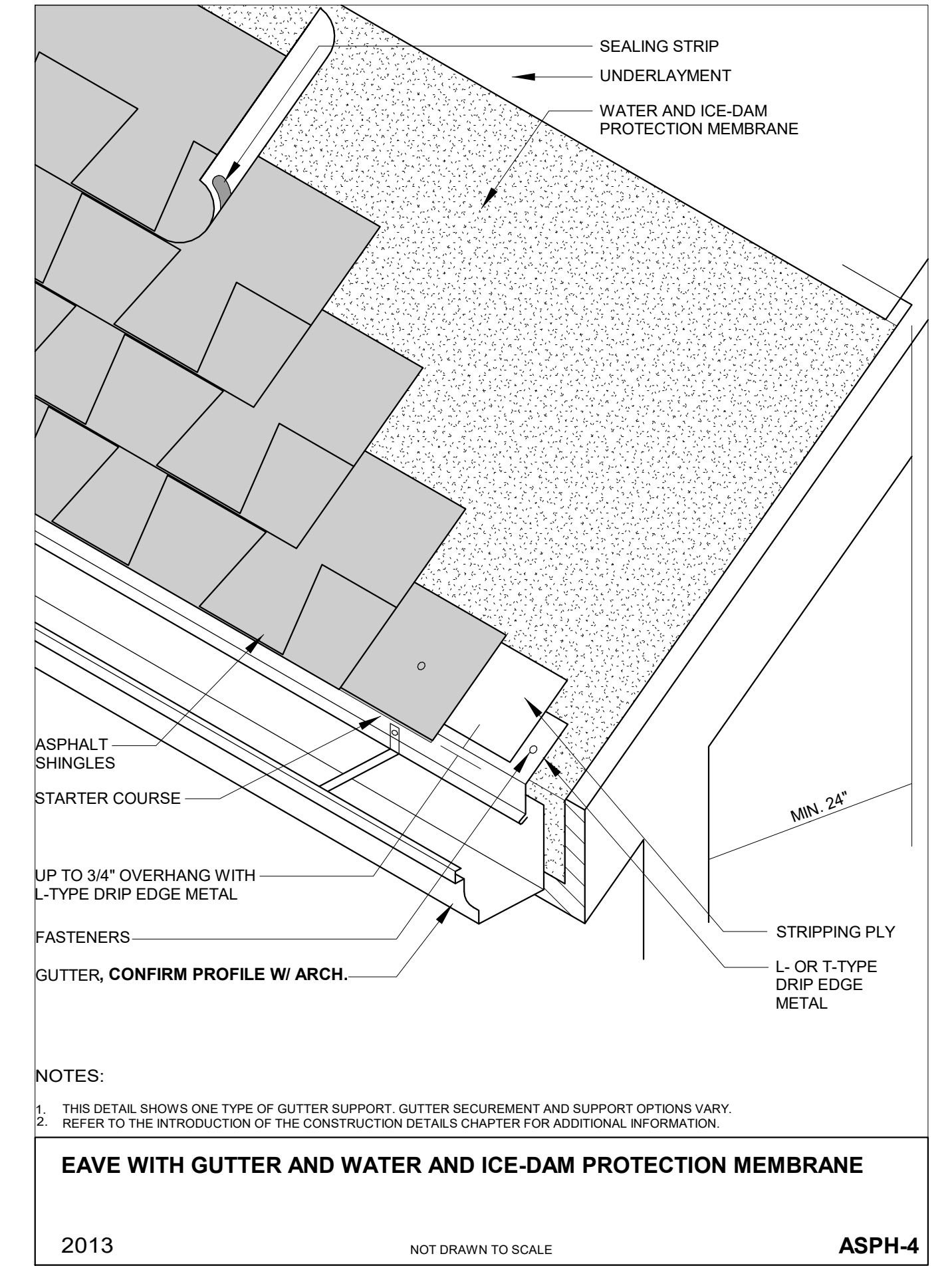
1 EAVE DETAIL  
 1 1/2" = 1'-0"



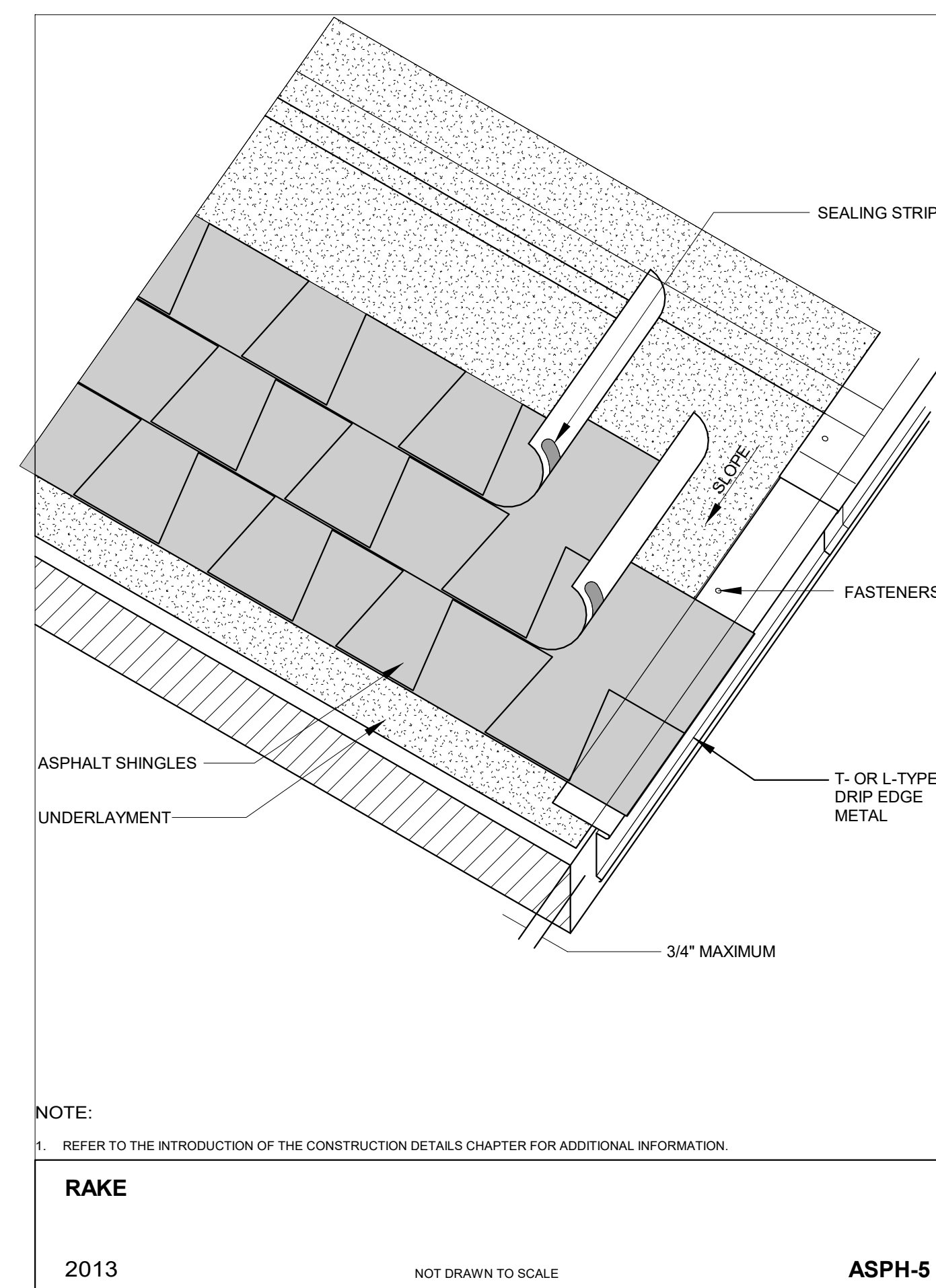
2 NCRA ASPH-9 Open Valley  
 12" = 1'-0"



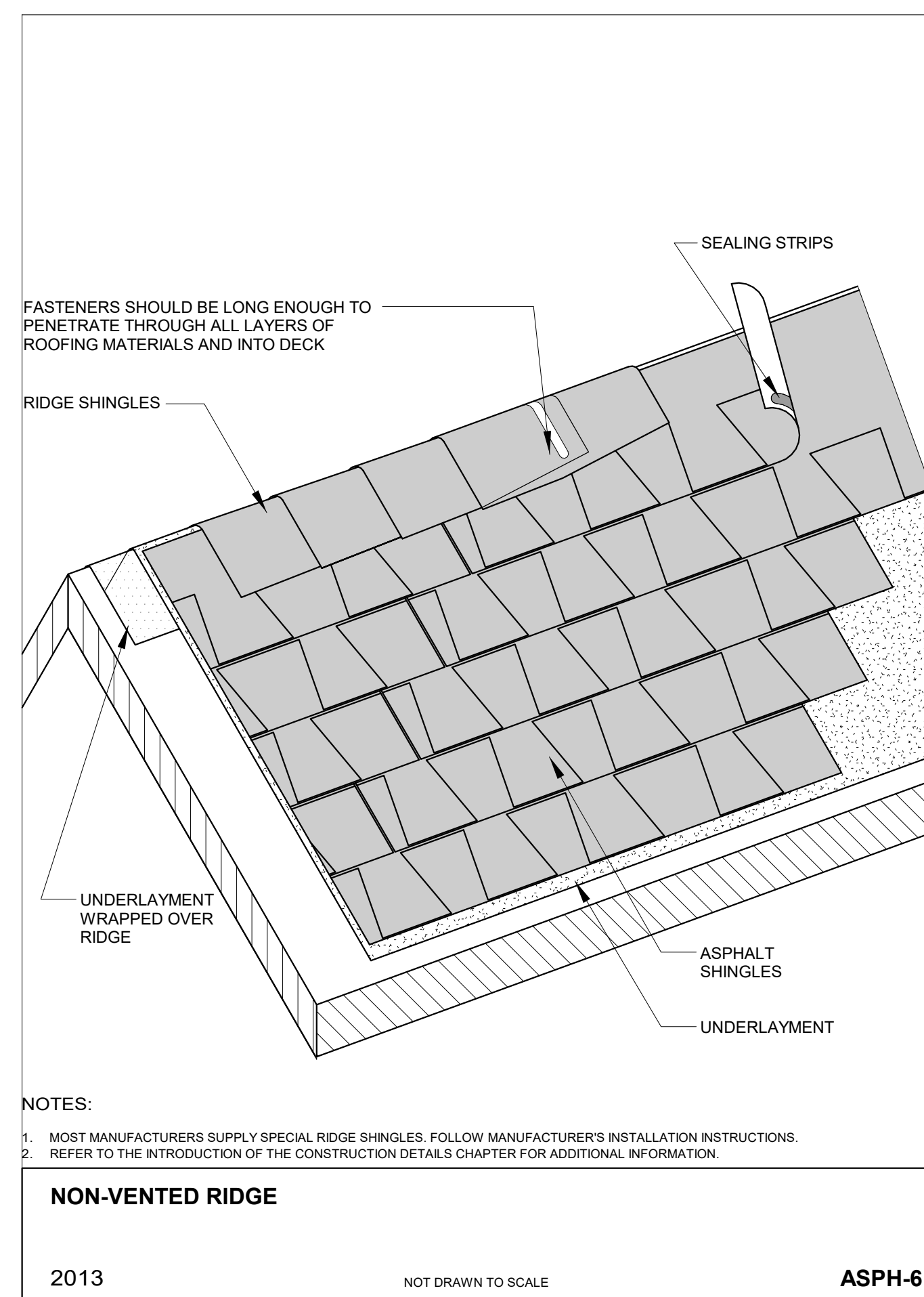
3 NCRA ASPH-8 Hip  
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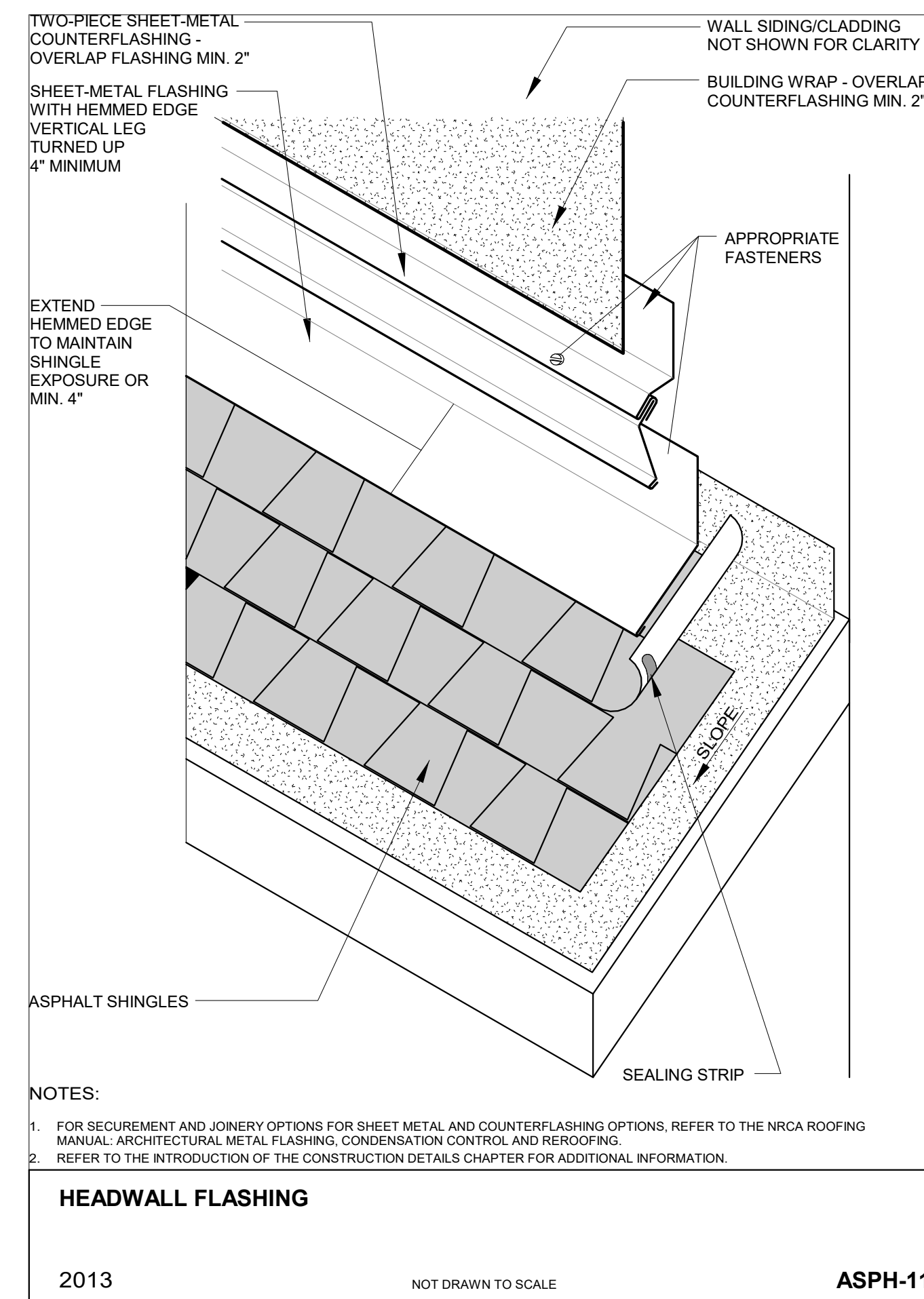
4 NCRA ASPH-4 Eave with Gutter  
 12" = 1'-0"



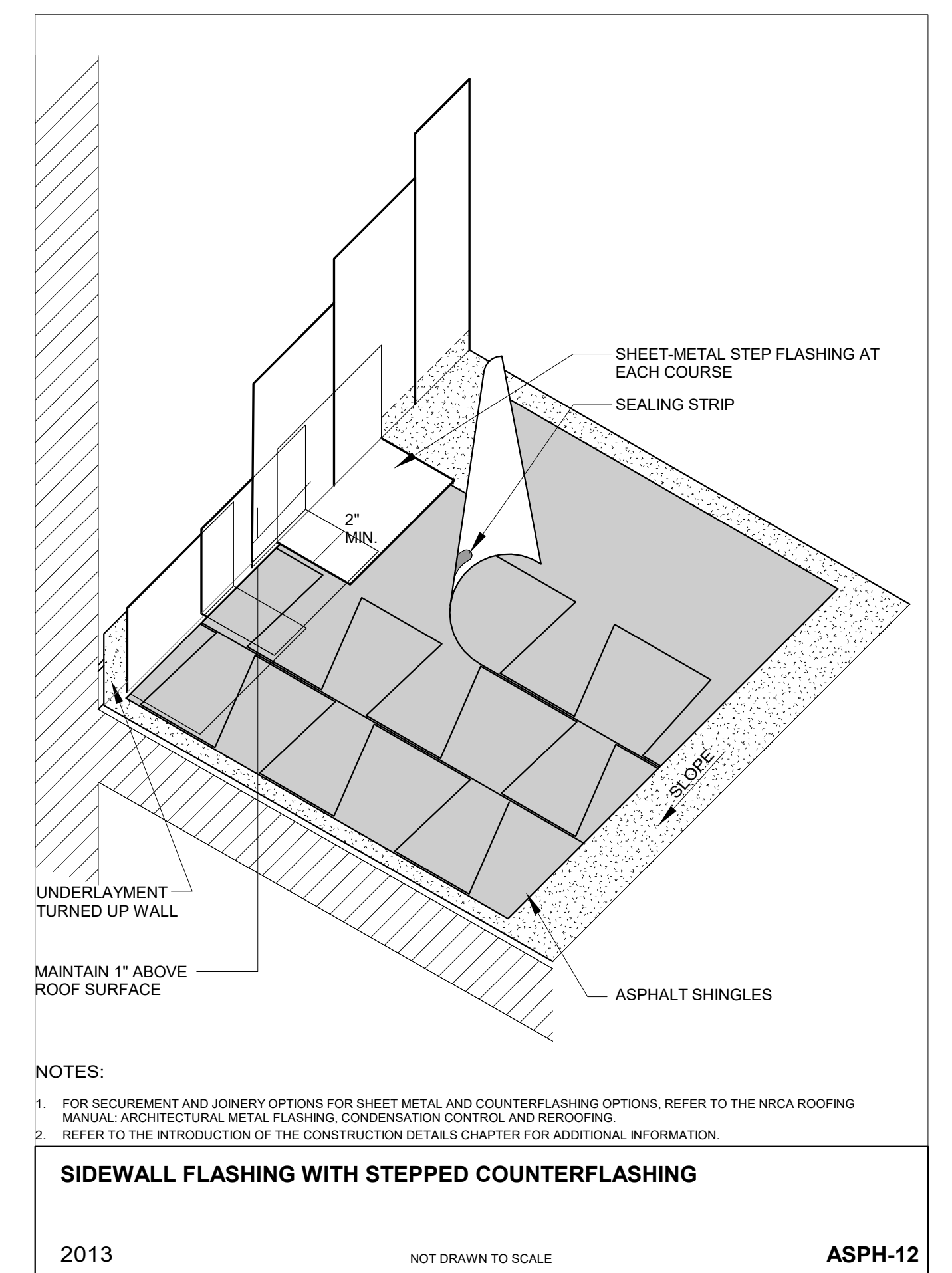
5 NCRA ASPH-5 Rake  
 12" = 1'-0"



6 NCRA ASPH-6 Non-Vented Ridge  
 12" = 1'-0"



7 NCRA ASPH-11 Headwall Flashing  
 12" = 1'-0"

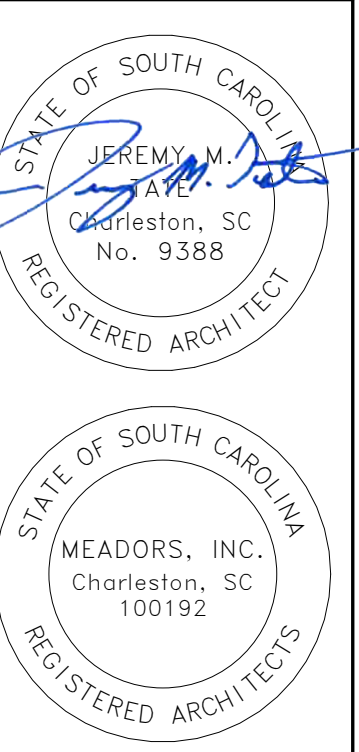


8 NCRA ASPH-12A Stepped Flashing  
 12" = 1'-0"

**MEADORS**

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, SC 29405 ■ 843.723.8585



**EPPS-MCGILL FARMHOUSE**

679 Eastland Ave  
 Kingstree, South Carolina 29556

Construction Documents  
 PHASE 1

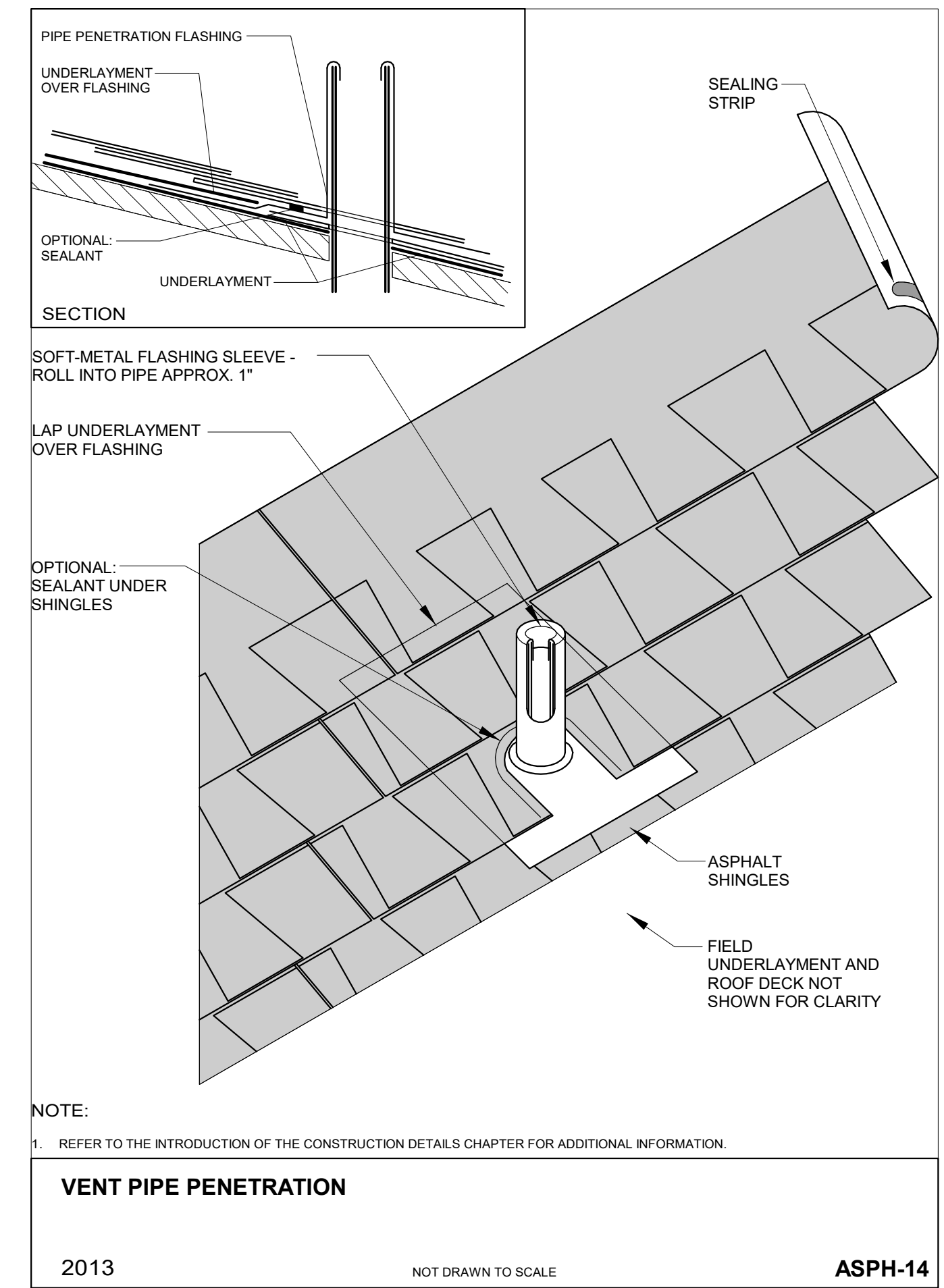
PROJ. NO. 20-0087  
 ISSUE DATE: 02.05.2024

REVISIONS		
#	DATE	NOTES
2	08/20/2024	Phase 1 scope of work clarification

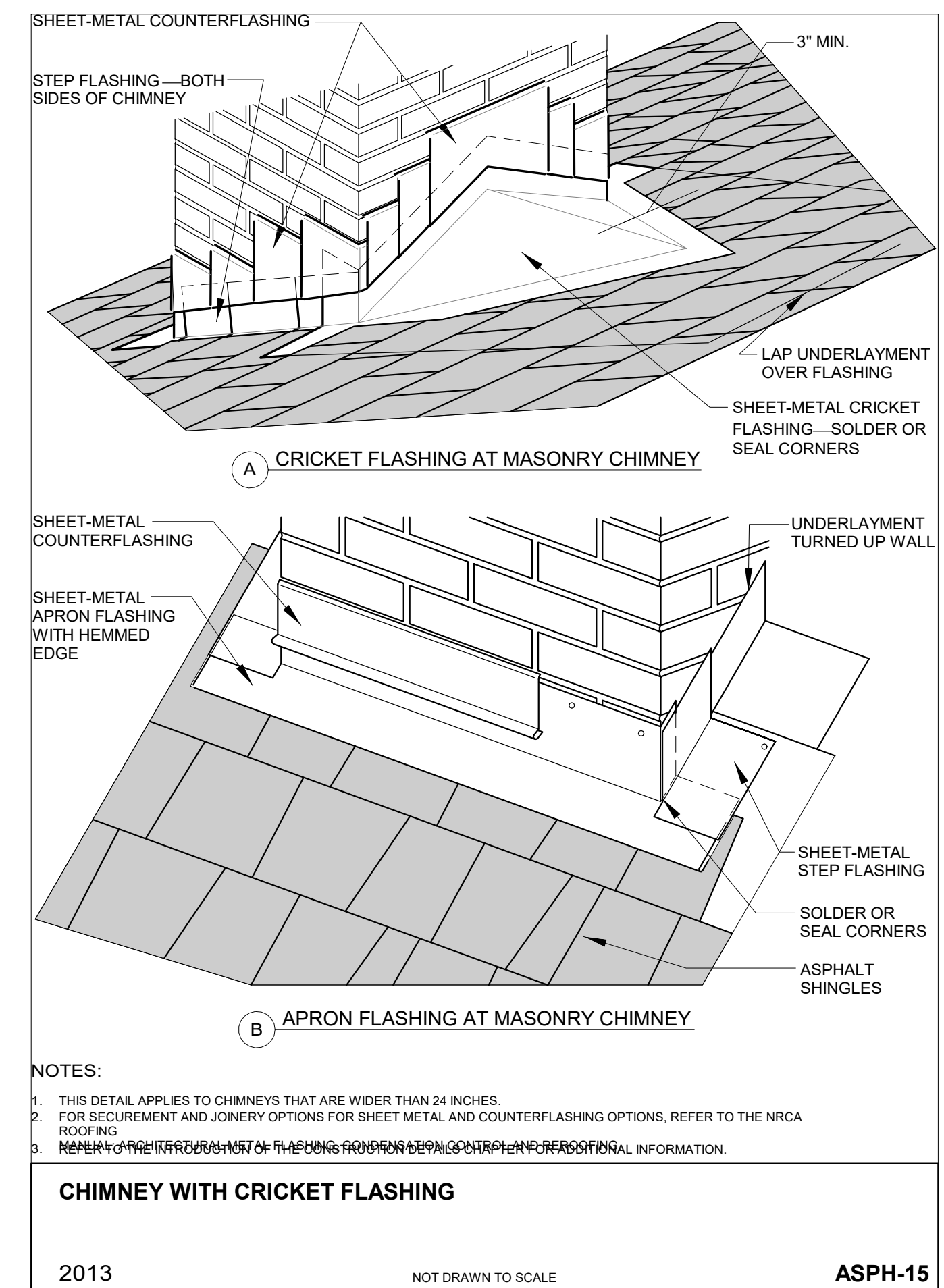
ROOF AND FLASHING DETAILS

**A501**

**ARCHITECTURAL ASPHALT  
SHINGLE BASIS OF DESIGN:  
GAF TIMBERLINE® NS SHINGLES;  
COLOR/FINISH: SLATE**



1 NCRA ASPH-14 Vent Pipe Penetration  
12" = 1'-0"



2 NCRA ASPH-13 Chimney w/ Cricket Flashing  
12" = 1'-0"

**MEADORS**

SINCE 1984

2811 AZALEA DRIVE ■ CHARLESTON, ■ 843.723.8585



**EPPS-MCGILL  
FARMHOUSE**

679 Eastland Ave  
Kingstree, South Carolina 29566

Construction Documents  
-  
**PHASE 1**

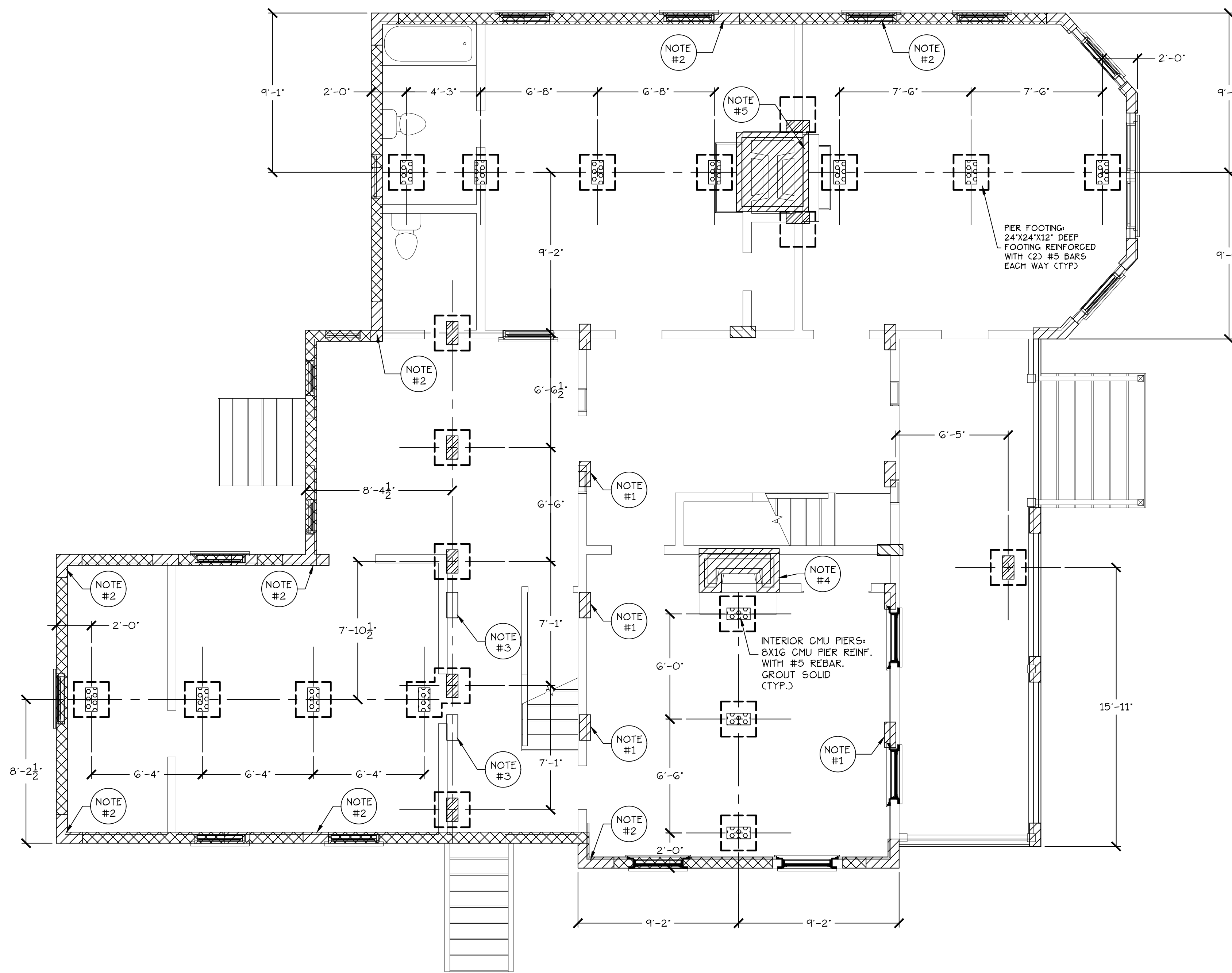
PROJ. NO. 20-0087  
ISSUE DATE: 02.05.2024

REVISIONS

#	DATE	NOTES

ROOF AND FLASHING DETAILS

**A502**



**NOTE:**

1. CONTRACTOR TO COORDINATE LOCATION OF ALL LOAD BEARING WALLS WITH FOUNDATION PLAN PROVIDED BY ENGINEER. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN FOUNDATION PLAN AND LOCATION OF INTERIOR AND EXTERIOR LOAD BEARING WALLS.

**NOTE:**

ALL DIMENSIONS TO BE VERIFIED WITH LATEST ARCHITECTURAL DRAWINGS AND IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.

**FOUNDATION PIER NOTES:**

**NOTE #1:** EXISTING INTERIOR BRICK MASONRY PIER:

MORTAR JOINT LOSS AND SPALLING OF BRICK SURFACE OBSERVED AT EXISTING BRICK FOUNDATION PIER. REMOVE EXISTING DAMAGED BRICK AND REPLACE WITH NEW BRICK MASONRY OF SIMILAR DIMENSION. MORTAR JOINTS AT BRICK MASONRY ARE TO BE REPOINTED WITH COMPATIBLE MORTAR AS REQUIRED.  
G.C. OPTION TO REMOVE EXISTING PIER AND REPLACE WITH NEW 8X16 CMU FOUNDATION PIER ON ISOLATED FOOTING AS SHOWN.

**NOTE #2:** EXISTING EXTERIOR BRICK MASONRY PIER:

MORTAR JOINT LOSS AND SPALLING OF BRICK SURFACE OBSERVED AT EXISTING BRICK FOUNDATION PIER. REMOVE EXISTING DAMAGED BRICK AND REPLACE WITH NEW BRICK MASONRY OF SIMILAR DIMENSION. MORTAR JOINTS AT BRICK MASONRY ARE TO BE REPOINTED WITH COMPATIBLE MORTAR AS REQUIRED.

**NOTE #3:** EXISTING INTERIOR BRICK MASONRY PIER:

EXISTING DRY STACK MASONRY PIER. REMOVE EXISTING PIER FOLLOWING INSTALLATION OF NEW 8X16 CMU FOUNDATION PIER ON ISOLATED FOOTING AS SHOWN. VERIFY NO BEAM SPLICE EXISTS AT DRY STACK PRIOR TO REMOVAL.

**NOTE #4:** EXISTING FIREPLACE BRICK MASONRY:

MORTAR JOINT LOSS OBSERVED AT EXISTING BRICK FIREPLACE. MORTAR JOINTS AT BRICK MASONRY ARE TO BE REPOINTED WITH COMPATIBLE MORTAR AS REQUIRED.

**NOTE #5:** EXISTING FIREPLACE BRICK MASONRY:

LARGE SEPARATION CRACK IN BRICK MASONRY NOTED AT BASE OF FIREPLACE. REMOVE EXISTING DAMAGED BRICK AND REPLACE WITH NEW BRICK MASONRY OF SIMILAR DIMENSION. REPOINT WITH COMPATIBLE MORTAR AS REQUIRED.

**KEY:**

--- INDICATES CENTERLINE OF 8'X16' CMU PIER UNLESS OTHERWISE NOTED

**CMU PIER/FOUNDATION WALL LEGEND**

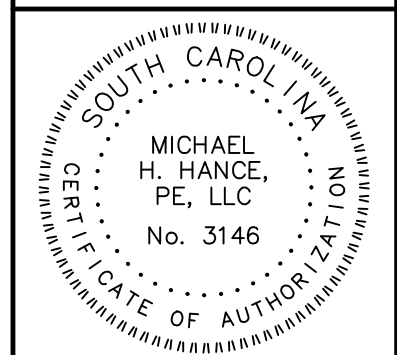
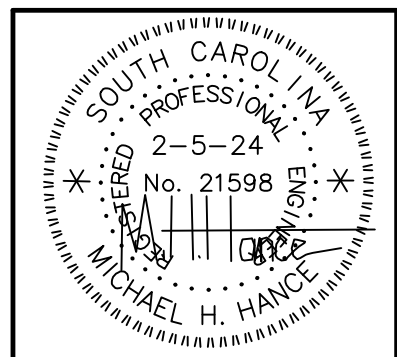
NEW INTERIOR CMU PIERS AT DROPPED GIRDER: 8X16 REINFORCED CMU PIER GROUT SOLID. TOP OF BLOCK: -1 1/2' BELOW BOTTOM OF DROPPED GIRDER. SEE 1/52 FOR DROPPED GIRDER FRAMING PLAN.

NEW INTERIOR CMU PIERS AT EXISTING GIRDER: 8X16 REINFORCED CMU PIER GROUT SOLID. TOP OF BLOCK: -1 1/2' BELOW BOTTOM OF EXISTING GIRDER. SEE 1/53 FOR 1ST FLOOR FRAMING PLAN.

EXISTING FOUNDATION STRUCTURE: EXISTING EXTERIOR 8' CMU BLOCK FOUNDATION WALL.

EXISTING FOUNDATION STRUCTURE: EXISTING EXTERIOR AND INTERIOR BRICK MASONRY PIERS AND FIREPLACE BRICK MASONRY.

rev	dwg	chkd	appr	date	description



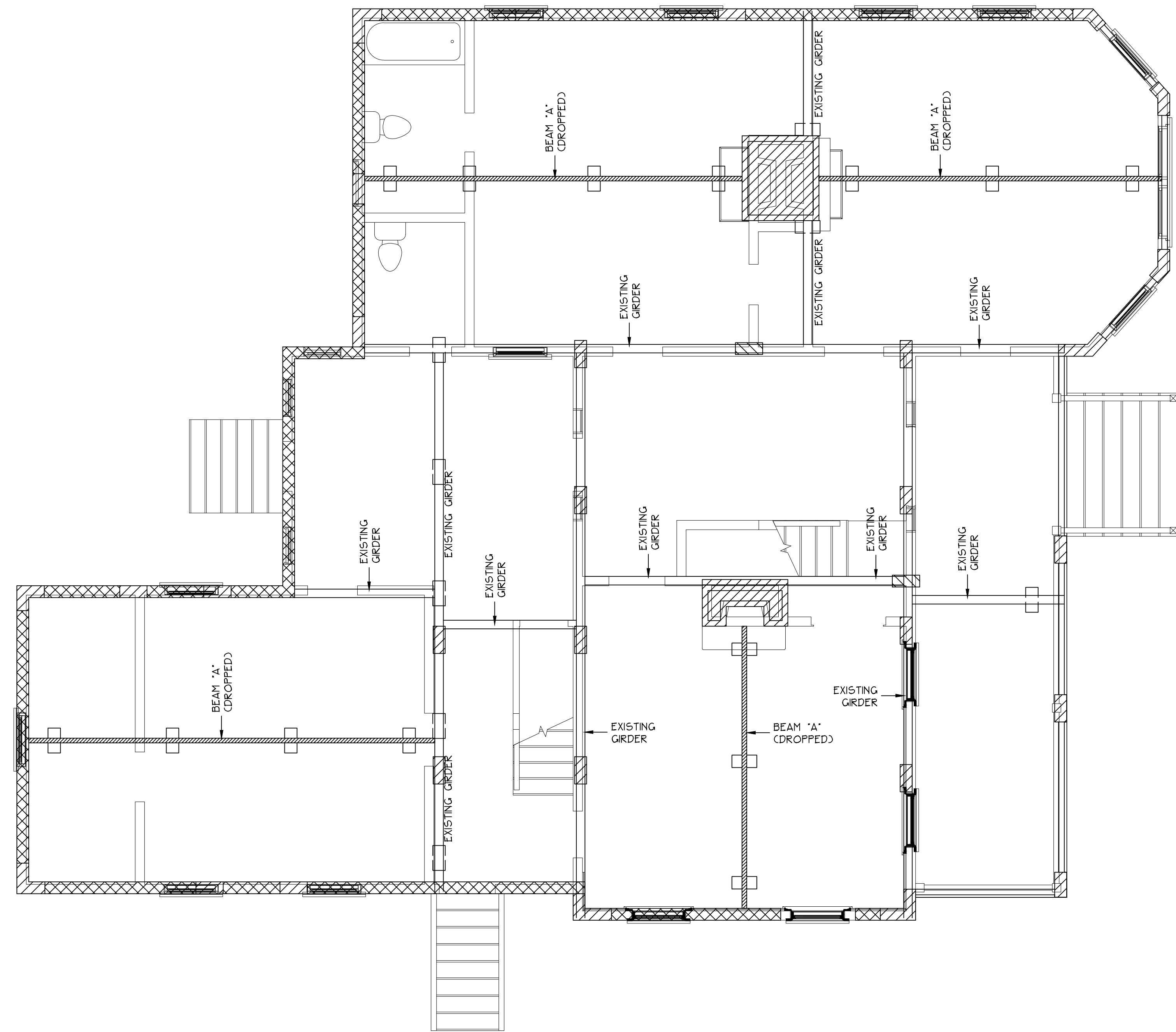
**MICHAEL H. HANCE, PE LLC**  
STRUCTURAL ENGINEER  
1133 Club Terrace  
Mount Pleasant, South Carolina 29464  
MT. PLEASANT OFFICE: (843) 856-2649

SCALE: AS SHOWN
DRAWN: MHH
DESIGN: MHH
APP'D: MHH
DEPT.: STRUCTURAL

PROJECT	EPPS-MCGGILL FARMHOUSE 679 EASTLAND AVENUE KINGSTREE, SC	TITLE
TITLE		

PROJECT	EPPS-MCGGILL FARMHOUSE 679 EASTLAND AVENUE KINGSTREE, SC
DWG NO:	S-1
DATE:	February 5, 2024





**NOTE:**

- CONTRACTOR TO COORDINATE LOCATION OF ALL LOAD BEARING WALLS WITH FOUNDATION PLAN PROVIDED BY ENGINEER. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN FOUNDATION PLAN AND LOCATION OF INTERIOR AND EXTERIOR LOAD BEARING WALLS.

**NOTE:**

ALL DIMENSIONS TO BE VERIFIED WITH LATEST ARCHITECTURAL DRAWINGS AND IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.

**KEY:**

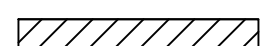
 DROPPED GIRDER. SEE BEAM SCHEDULE FOR SIZE AND DEPTH.

**BEAM SCHEDULE:**

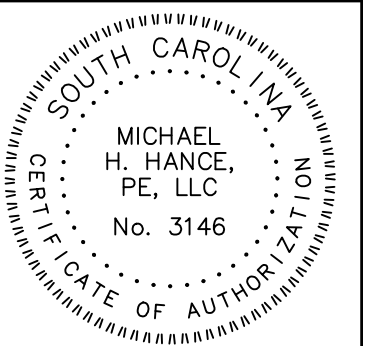
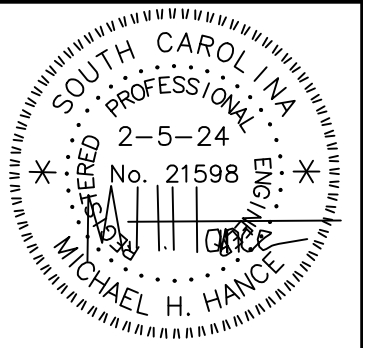
BEAM "A" - (C3) 2X8 SYP #2 BEAM. (PRESS. TREATED DROPPED GIRDER). SEE 1/S2

**CMU PIER/FOUNDATION WALL LEGEND**

 EXISTING FOUNDATION STRUCTURE- EXISTING EXTERIOR 8' CMU BLOCK FOUNDATION WALL.

 EXISTING FOUNDATION STRUCTURE- EXISTING EXTERIOR AND INTERIOR BRICK MASONRY PIERS AND FIREPLACE BRICK MASONRY.

revision	date	description
1		
2		
3		
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10		



**MICHAEL H. HANCE, PE LLC**  
**STRUCTURAL ENGINEER**  
 1133 Club Terrace  
 Mount Pleasant, South Carolina 29464  
 MT. PLEASANT OFFICE: (843) 856-2649

SCALE: AS SHOWN  
 DRAWN: MHH  
 DESIGN: MHH  
 APP'D: MHH  
 DEPT.: STRUCTURAL

PROJECT  
**EPPS-MCGGILL FARMHOUSE**  
**679 EASTLAND AVENUE**  
**KINGSTREE, SC**  
 TITLE  
**DROP. GIRDER FRAMING PLAN**

**EPPS-MCGGILL**  
**PHASE 1**

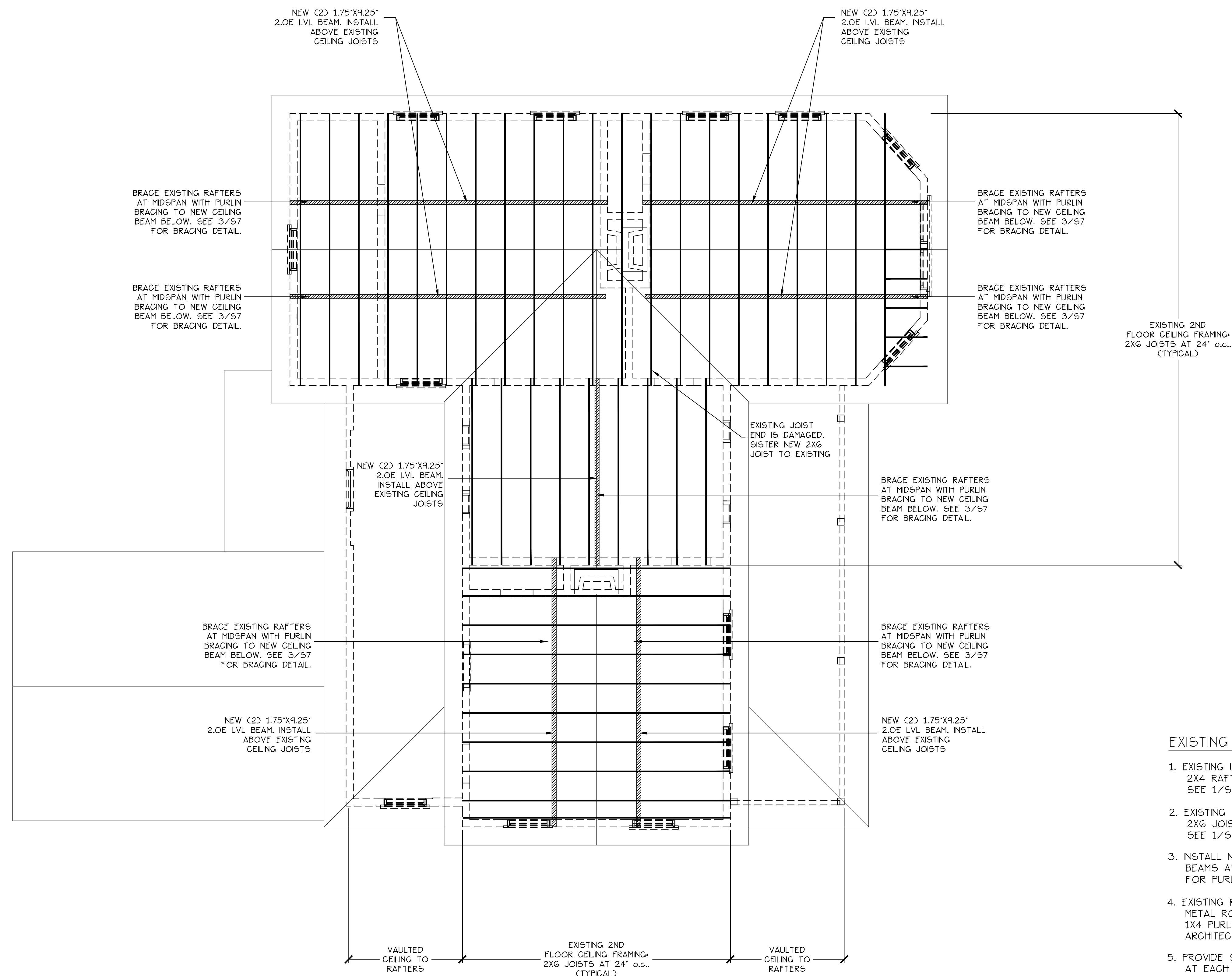
DWG NO:  
**S-2**  
 DATE:  
**February 5, 2024**

NOTE:

1. CONTRACTOR TO COORDINATE LOCATION OF ALL LOAD BEARING WALLS WITH FOUNDATION PLAN PROVIDED BY ENGINEER. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN FOUNDATION PLAN AND LOCATION OF INTERIOR AND EXTERIOR LOAD BEARING WALLS.

NOTE:

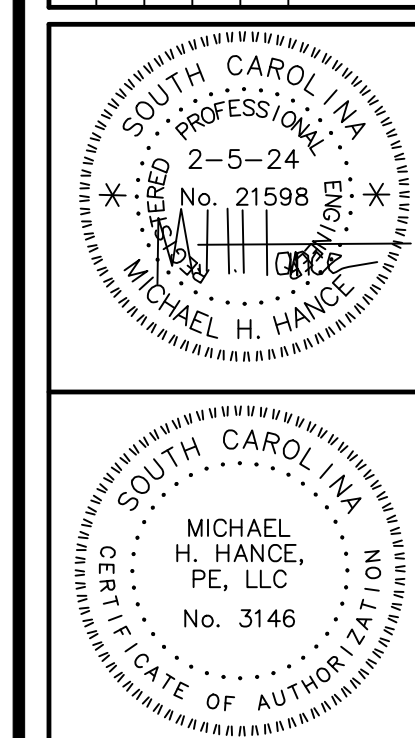
ALL DIMENSIONS TO BE VERIFIED WITH LATEST ARCHITECTURAL DRAWINGS AND IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.



EXISTING ROOF/CEILING FRAMING NOTES:

1. EXISTING UPPER ROOF FRAMING:  
2X4 RAFTERS SPACED AT 24' o.c. +/-  
SEE 1/56 FOR UPPER ROOF FRAMING LAYOUT.
2. EXISTING 2ND FLR. CEILING JOIST FRAMING:  
2X6 JOISTS SPACED AT 24' o.c. +/-  
SEE 1/55 FOR CEILING FRAMING LAYOUT.
3. INSTALL NEW PURLIN ROOF BRACING TO CEILING BEAMS AT MIDSPAN OF RAFTER. SEE 3/57 FOR PURLIN ROOF BRACING DETAIL.
4. EXISTING ROOF COVERING:  
METAL ROOF PANELS OVER WOOD SHAKES OVER 1X4 PURLINS. VERIFY NEW ROOF COVERING WITH ARCHITECTURAL.
5. PROVIDE SIMPSON H2A HURRICANE TIE OR EQUAL AT EACH RAFTER TO CEILING JOIST CONNECTION. INSTALL HURRICANE TIE PER MFR. SPECIFICATION.
6. PROVIDE 2X6 COLLAR TIES AT UPPER THIRD OF RAFTER AT 48' o.c. MAXIMUM.

date	description
Fevri 07/2017	CHKD
08/2017	APPR



MICHAEL H. HANCE, PE LLC  
STRUCTURAL ENGINEER  
1133 Club Terrace  
Mount Pleasant, South Carolina 29464  
MT. PLEASANT OFFICE: (843) 856-2649

SCALE: AS SHOWN
DRAWN: MHH
DESIGN: MHH
APP'D: MHH
DEPT.: STRUCTURAL

PROJECT  
EPPS-MCGGILL FARMHOUSE  
679 EASTLAND AVENUE  
KINGSTREE, SC

TITLE  
2ND FLR CEILING FRMG PLAN

EPPS-MCGGILL  
PHASE 1

DWG NO:  
**S-5**

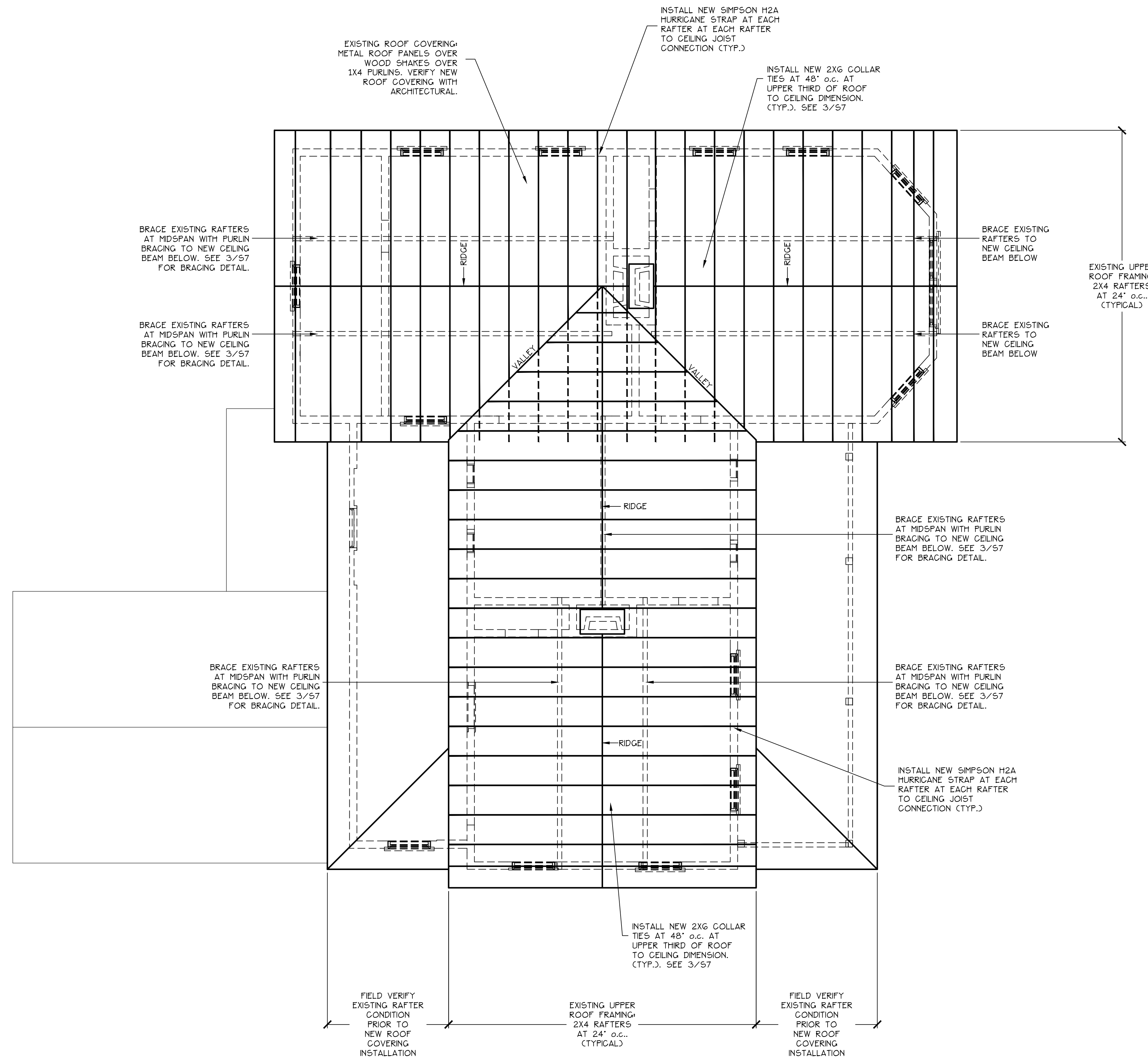
DATE:  
February 5, 2024

NOTE:

1. CONTRACTOR TO COORDINATE LOCATION OF ALL LOAD BEARING WALLS WITH FOUNDATION PLAN PROVIDED BY ENGINEER. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN FOUNDATION PLAN AND LOCATION OF INTERIOR AND EXTERIOR LOAD BEARING WALLS.

NOTE:

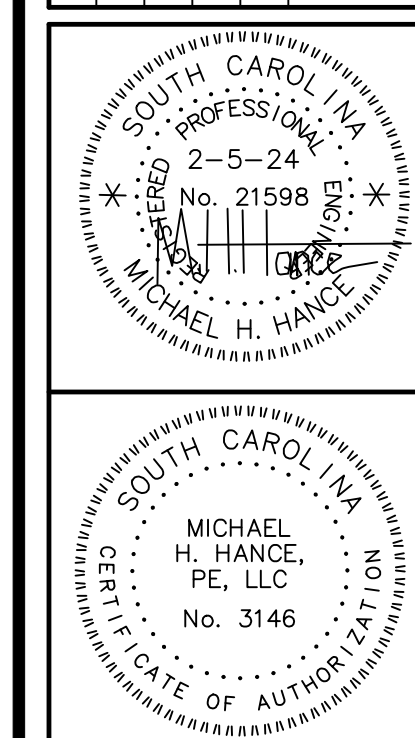
ALL DIMENSIONS TO BE VERIFIED WITH LATEST ARCHITECTURAL DRAWINGS AND IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.



EXISTING ROOF/CEILING FRAMING NOTES:

1. EXISTING UPPER ROOF FRAMING:  
2X4 RAFTERS SPACED AT 24' o.c. +/-  
SEE 1/56 FOR UPPER ROOF FRAMING LAYOUT.
2. EXISTING 2ND FLR. CEILING JOIST FRAMING:  
2X6 JOISTS SPACED AT 24' o.c. +/-  
SEE 1/55 FOR CEILING FRAMING LAYOUT.
3. INSTALL NEW PURLIN ROOF BRACING TO CEILING BEAMS AT MIDSPAN OF RAFTER. SEE 3/57 FOR PURLIN ROOF BRACING DETAIL.
4. EXISTING ROOF COVERING:  
METAL ROOF PANELS OVER WOOD SHAKES OVER 1X4 PURLINS. VERIFY NEW ROOF COVERING WITH ARCHITECTURAL.
5. PROVIDE SIMPSON H2A HURRICANE TIE OR EQUAL AT EACH RAFTER TO CEILING JOIST CONNECTION. INSTALL HURRICANE TIE PER MFR. SPECIFICATION.
6. PROVIDE 2X6 COLLAR TIES AT UPPER THIRD OF RAFTER AT 48' o.c. MAXIMUM.

Rev	Drawn	Checked	Appr.	Date	Description



**MICHAEL H. HANCE, PE LLC**  
**STRUCTURAL ENGINEER**  
 1133 Club Terrace  
 Mount Pleasant, South Carolina 29464  
 MT. PLEASANT OFFICE: (843) 856-2649

SCALE: AS SHOWN	DRAWN: MHH	DESIGN: MHH	APP'D: MHH	DEPT.: STRUCTURAL
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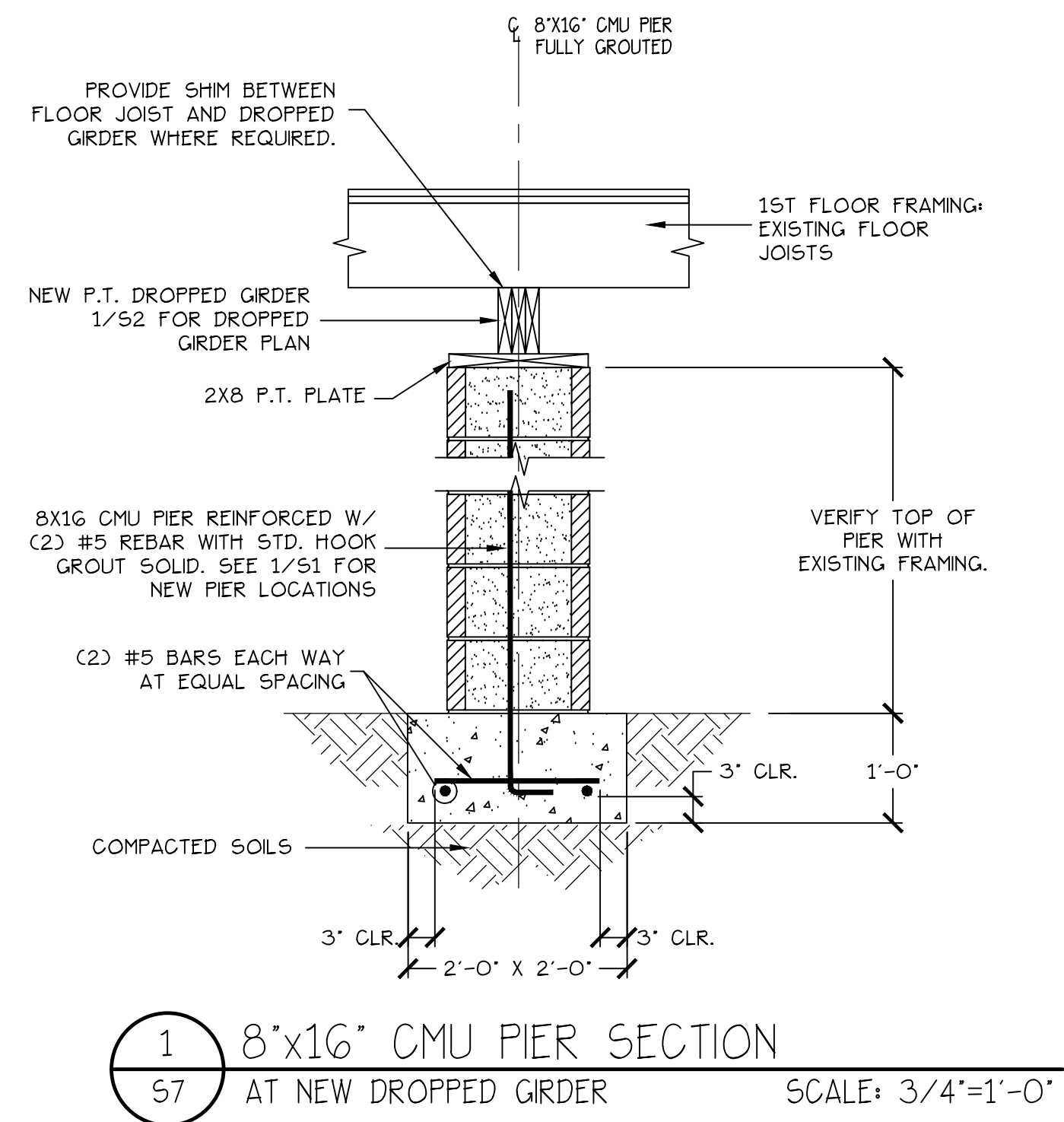
PROJECT  
**EPPS-MCGGILL FARMHOUSE**  
**679 EASTLAND AVENUE**  
**KINGSTREE, SC**

TITLE  
**UPPER ROOF FRAMING PLAN**

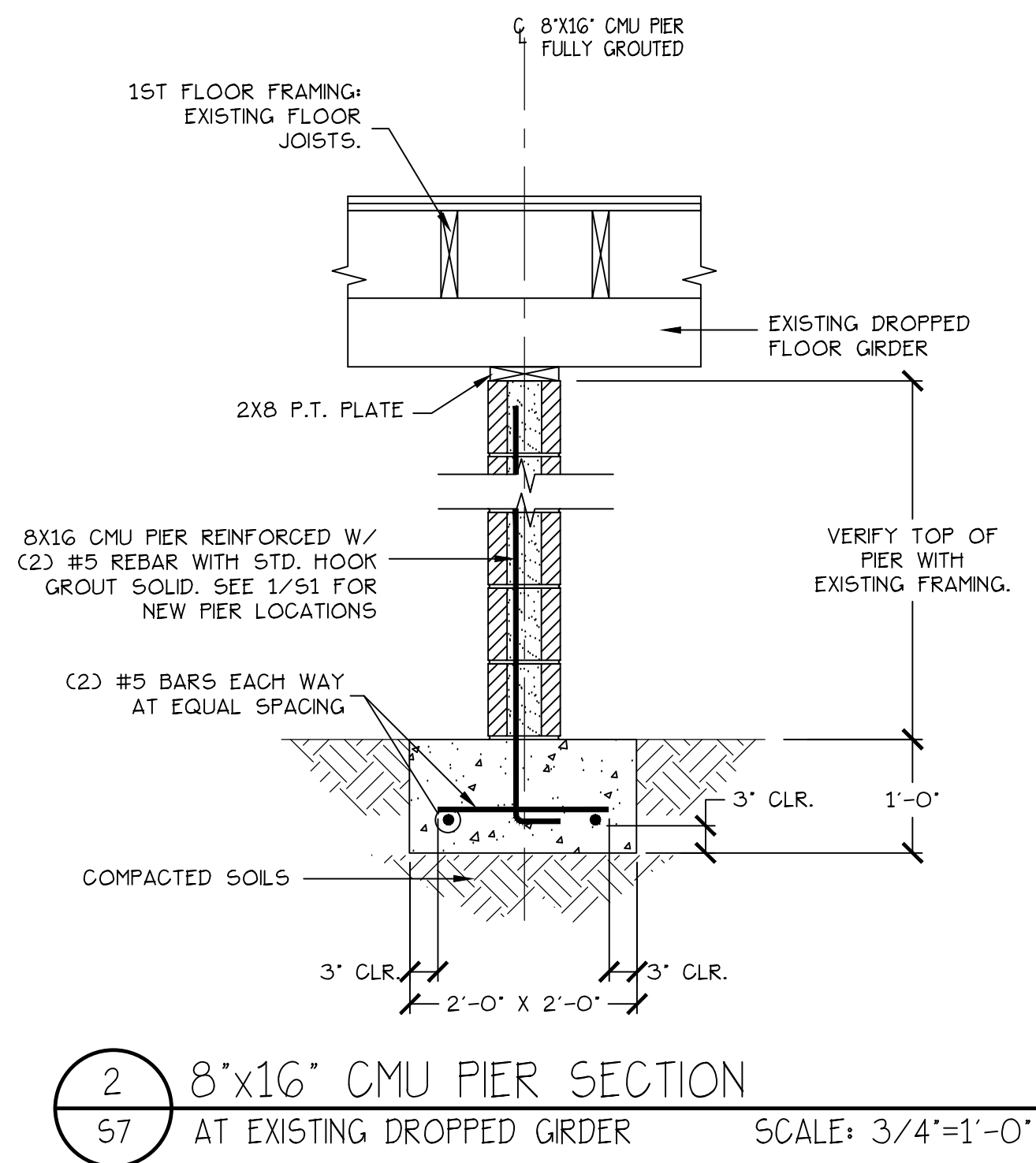
**EPPS-MCGGILL**  
**PHASE 1**

DWG NO:  
**S-6**

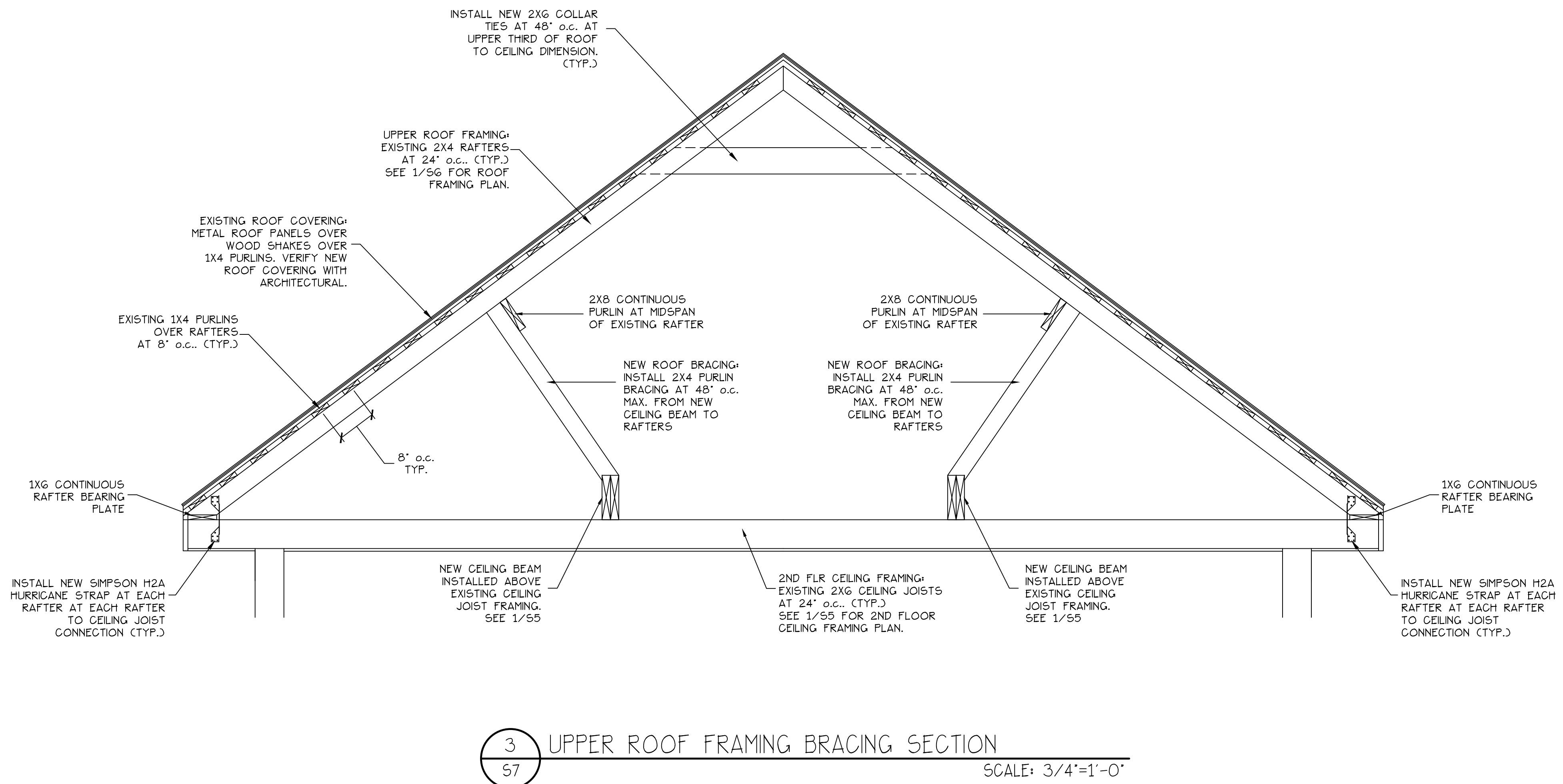
DATE:  
**February 5, 2024**



1 8x16 CMU PIER SECTION  
AT NEW DROPPED GIRDER SCALE: 3/4"=1'-0"



2 8x16 CMU PIER SECTION  
AT EXISTING DROPPED GIRDER SCALE: 3/4"=1'-0"



3 UPPER ROOF FRAMING BRACING SECTION  
SCALE: 3/4"=1'-0"

BUILDING DESIGN CRITERIA:

- STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING:
  - 2021 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS WITH SC AMENDMENTS
  - MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE-7-16)
  - 2021 INTERNATIONAL BUILDING CODE
- THE FOLLOWING MINIMUM DESIGN LOADS APPLY TO THIS PROJECT:
  - A. RISK CATEGORY II
  - B. EXPOSURE CATEGORY B
  - C. ULTIMATE DESIGN WIND LOAD:  $V_{ult} = 134$  mph
  - D. NOMINAL DESIGN WIND SPEED:  $V_{asd} = 104$  mph
  - E. SEISMIC DESIGN CATEGORY D1
  - F. SITE CLASS D (ASSUMED)
  - G. ROOF LIVE LOAD = 20 psf
  - H. FLOOR LIVE LOAD = 40 psf

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING SITE CONDITIONS THAT ARE NOT CONSISTENT WITH THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND ERECTION OF TEMPORARY BRACING AND SHORING AS REQUIRED FOR STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
- THESE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL AND DRAWING/DOCUMENTS RELATING TO OTHER TRADES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN CHECK AND COORDINATION OF DIMENSIONS, CLEARANCES, ETC. WITH THE WORK OF THE OTHER TRADES. IN CASE OF CONFLICT, CONTACT ENGINEER.
- WORK NOT INDICATED AS PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT AT CORRESPONDING PLACES SHALL BE REPEATED.
- ALL SECTIONS AND DETAILS ARE TYPICAL AT SIMILAR LOCATIONS AND WHERE APPLICABLE.
- THE CONTRACTOR SHALL CONSTRUCT THIS PROJECT IN ACCORDANCE WITH 2021 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE BUILDING CODES.
- THE DESIGN PROFESSIONALS SHALL HAVE NO CONTROL OVER NOR RESPONSIBILITY FOR THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES, OR PROCEDURES IN PERFORMING THE WORK, SITE SAFETY, OR SAFETY PROGRAMS IN CONNECTION WITH THE WORK. THESE ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL HEALTH AND SAFETY PRECAUTIONS AS REQUIRED BY ANY REGULATORY AGENCIES.

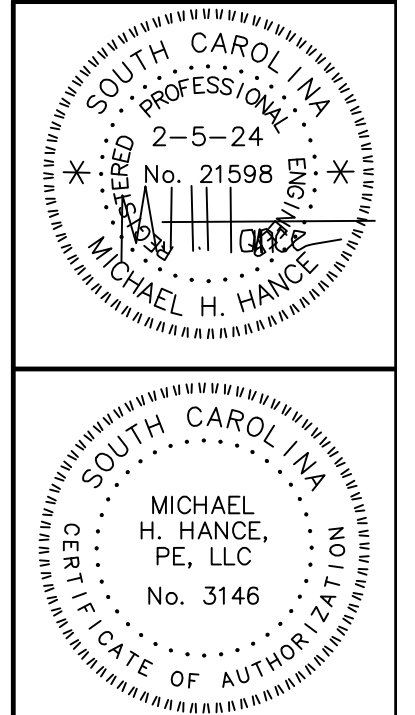
GENERAL FOUNDATION SPECIFICATIONS:

- CONCRETE ANALYSIS HAS BEEN BASED UPON AMERICAN CONCRETE INSTITUTE ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."
- FOUNDATIONS WERE DESIGNED BASED UPON AN ASSUMED MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1000 PSF FOR WALL FOOTINGS AND 1500 PSF FOR COLUMN FOUNDATIONS ON NATURAL SOIL. ALL FOUNDATIONS AND FOOTINGS ON FILL SOILS HAVE BEEN BASED UPON AN ASSUMED MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 PSF.
- REINFORCING STEEL MEETING REQUIREMENTS OF ASTM A615 GRADE 60 DEFORMED SHALL BE PLACED AND HANDLED PER CONCRETE REINFORCING INSTITUTE "MANUAL OF STANDARD PRACTICE." REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR DISTANCE OF 3" FROM SIDES AND BOTTOM, AND 2" FROM TOP OF FOOTING UNLESS OTHERWISE NOTED.

CONCRETE:

- ALL CONCRETE AND REBAR SHALL BE INSTALLED ACCORDING TO STANDARDS SET FORTH BY THE LATEST EDITION OF ACI - 318.
- 28 DAY CONCRETE MINIMUM COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS: FOOTINGS AND SLABS = 3000 PSI MIN. NO CALCIUM CHLORIDE SHALL BE USED IN MIX.
- THE CONTRACTOR SHALL TAKE ADDITIONAL PRECAUTIONS WHEN CONCRETE IS TO BE PLACED AND CURED DURING COLD AND HOT WEATHER IS ADVISED THAT THE CONTRACTOR FOLLOW THE RECOMMENDATIONS PRESCRIBED BY AMERICAN CONCRETE INSTITUTE FOR COLD AND HOT WEATHER CONSTRUCTION.
- NO WATER SHALL BE ADDED TO THE CONCRETE AT THE SITE UNLESS APPROVED BY THE ARCHITECT OR STRUCTURAL ENGINEER.
- REINFORCING STEEL MEETING REQUIREMENTS OF ASTM A615 GRADE 60 DEFORMED SHALL BE PLACED AND HANDLED PER CONCRETE REINFORCING INSTITUTE "MANUAL OF STANDARD PRACTICE." REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR DISTANCE OF 3" FROM SIDES AND BOTTOM, AND 2" FROM TOP OF FOOTING UNLESS OTHERWISE NOTED.
- PROVIDE PROPERLY TIED SPACERS, CHAIRS, BOLSTERS, ETC. AS REQUIRED AND NECESSARY TO ASSEMBLE, PLACE, SUPPORT, ALL REINFORCING USE WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI RECOMMENDATIONS. USE PLASTIC TIP LEGS ON ALL EXPOSED CONCRETE.

Rev	date	description



MICHAEL H. HANCE, PE LLC  
STRUCTURAL ENGINEER  
1133 Club Terrace  
Mount Pleasant, South Carolina 29464  
MT. PLEASANT OFFICE: (843) 856-2649

SCALE: AS SHOWN
DRAWN: MHH
DESIGN: MHH
APP'D: MHH
DEPT.: STRUCTURAL

PROJECT  
EPPS-MCGGILL FARMHOUSE  
679 EASTLAND AVENUE  
KINGSTREE, SC

SECTIONS AND NOTES

TITLE

EPPS-MCGGILL  
PHASE 1

DWG NO:  
**S-7**

DATE:  
February 5, 2024