Epps-McGill Farmhouse - Phase 1



DRAWING LIST

PHASE 1 ARCHITECTURAL

COVER/TITLE SHEET NOTES & SPECIFICATIONS NOTES & SPECIFICATIONS

SITE PLAN

DEMOLITION & PROPOSED GRADE PLAN DEMOLITION & PROPOSED 1ST FLR PLAN

DEMOLITION & PROPOSED 2ND FLR PLAN

DEMOLITION & PROPOSED ROOF PLAN

DEMOLITION & PROPOSED BUILDING ELEVATIONS

DEMOLITION & PROPOSED BUILDING ELEVATIONS

BUILDING SECTIONS

ROOF AND FLASHING DETAILS

ROOF AND FLASHING DETAILS

STRUCTURAL

FOUNDATION PLAN

DROPPED GIRDER FRAMING PLAN

2ND FLR CELLING FRAMING PLAN

UPPER POOF FRAMING PLAN

S-7 SECTIONS AND NOTES

CONTACTS

Client:

Mrs. Lillie McGill, Ms. Lynn Richardson 699 Eastland Ave Kingstree, SC 29556

Architect:

Meadors Inc. PO Box 21758 Charleston, South Carolina 29413 Tel: 843.723.8585 Fax: 843.577.3107

> Jeremy Tate Project Architect Email: jeremy@meadorsinc.com

Structural Engineer:

Michael H. Hance, PE LLC 1133 Club Terrace, Mt. Pleasant SC 29464 Tel: 843.856.2649

SCOPE OF WORK DESCRIPTION

Stabilize the structure per foundation and roof framing

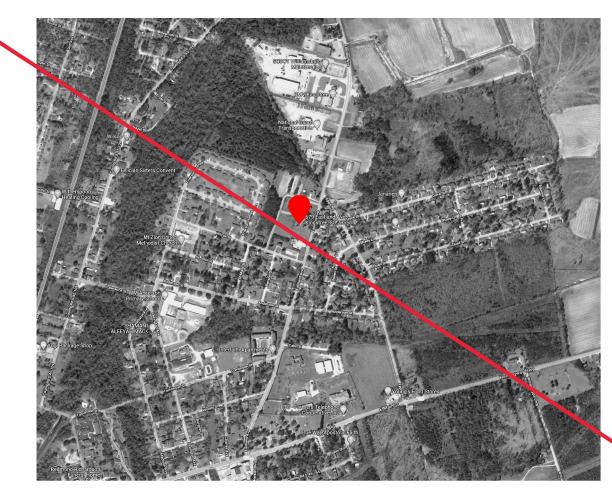
Phase 1 Scope of work is limited to the following:

- Verify lower level roof framing, second floor framing, and porch framing conditions prior to new construction and alterations.
- New roof
- a. Remove existing metal 5V roof, wood shingles, and purlins beneath prior to new installation.
- b. Install sheathing over existing rafters as a base for new roofing system.
- Architectural Asphalt Shingle Basis of Design: GAF Timberline® NS Shingles, Color/Finish: Slate
- Repair and repaint all cornice work.

Notes:

- Owner to remove all furnishings prior to start of Phase 1
- Phase 2 to occur at a later date.

LOCATION MAP











EPPS-MCGILL FARMHOUSE

Construction **Documents**

PROJ. NO. ISSUE DATE: 02.05.2024 **REVISIONS** DATE NOTES

> COVER/TITLE SHEET

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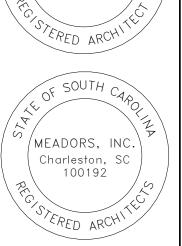
S-7 **SECTIONS AND NOTES**

SCOPE OF WORK DESCRIPTION

Revision 2 Note:

- "Revision 1" was skipped since there was a Revision 1 issued on 07/07/2023 for the initial Bid ("20-0087 Epps McGill Phased CD Set 2023.06.02").
- Revision 2 is to clarify that the repairing and re-painting of existing siding and cornerboard is not included in the Phase 1 scope of work. However, the scope of work does include repairing and re-painting the cornice as that will be affected by the re-roofing work.

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Construction **Documents**

02.05.2024

EPPS-MC FARMHC

CONTACTS

Client:

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Meadors Inc. PO Box 21758 Charleston, South Carolina 29413 Tel: 843.723.8585 Fax: 843.577.3107

> Jeremy Tate **Project Architect** Email: jeremy@meadorsinc.com

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LOCATION MAP



REVISIONS DATE NOTES 08/20/2024 Phase 1 scope of work clarification

PROJ. NO.

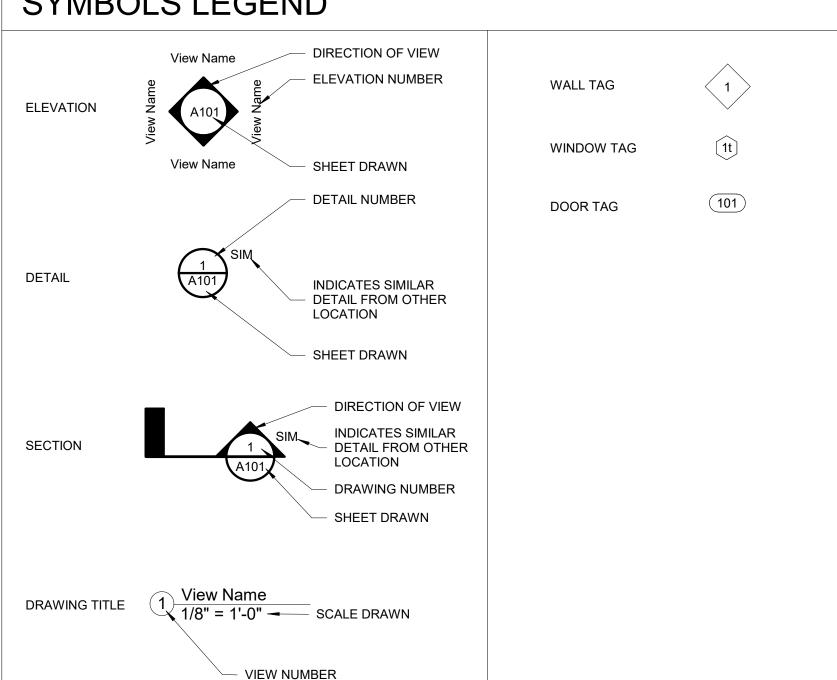
ISSUE DATE:

COVER/TITLE SHEET

ABBREVIATIONS LEGEND

ABBREVIATIONS LEGEND					
&	AND				
@ ACOUS	AT ACOUSTICAL	KDAT	KILN DRIED AFTER TREATMENT		
ACCOUS	ACOUSTICAL ACOUSTICAL CEILING TILE				
ADA	AMERICANS WITH DISABILITY ACT	LT WT	LIGHT WEIGHT		
AFF	ABOVE FINISHED FLOOR	LLH LLV	LONG LEG HORIZONTAL LONG LEG VERTICAL		
ALT ALUM	ALTERNATE ALUMINUM	LP	LOW POINT		
APPROX	APPROXIMATE	LVL	LAMINATED VENEER LUMBER		
ARCH	ARCHITECTURAL	N 4 A TU	MATERIAL		
BLDG	BUILDING	MAT'L MAX	MATERIAL MAXIMUM		
BLKG	BLOCKING	MECH	MECHANICAL		
BM	BEAM	MFR	MANUFACTURER		
B.O.	BOTTOM OF	MIN MISC	MINIMUM MISCELLANEOUS		
CAT	CATALOGUE	MO	MASONRY OPENING		
CJ	CONTROL JOINT	MTL	METAL		
CL	CENTERLINE	NIC	NOT IN CONTRACT		
CLG CMU	CEILING CONCRETE MASONRY UNIT	NOM	NOMINAL		
COL	COLUMN	NON-COM	NON-COMBUSTIBLE		
CONC	CONCRETE	NTS	NOT TO SCALE		
CONN	CONNECTION	ОС	ON CENTER		
CONST CONT	CONSTRUCTION CONTINUOUS	OPNG	OPENING		
00111		OPP	OPPOSITE		
DET / DTL	DETAIL	OF/CI	OWNER FURNISHED - CONTRACTOR INSTALLED		
DIAG DIA	DIAGONAL DIAMETER	OF/OI	OWNER FURNISHED - OWNER INSTALLED		
DIM	DIMENSION	PLUMB	PLUMBING		
DN	DOWN	PR	PAIR		
DR DS	DOOR DOWNSPOUT	PRE-FAB PT	PRE-FABRICATED PAVER TILE		
DWGS	DRAWINGS	PT	PRESSURE-TREATED		
200	218 ((1110)	PVB	POLY VAPOR BARRIER		
EA	EACH	RAD	RADIUS		
EJ ELEV	EXPANSION JOINT ELEVATION	RD	ROOF DRAIN		
EOS	EMERGENCY OVERFLOW SCUPPER	REF	REFERENCE		
EQ	EQUAL	REINF	REINFORCING		
EQUIP EX./EXIST	EQUIPMENT EXISTING	REQ'D REV	REQUIRED REVISION		
EX./EXIST	EXTERIOR	RO	ROUGH OPENING		
		001155	OOLIEDINE		
FACP FD	FIRE ALARM CONTROL PANEL	SCHED SEC	SCHEDULE SECURE / SECURITY		
FDN	FLOOR DRAIN FOUNDATION	SECT	SECTION		
FE	FIRE EXTINGUISHER	SIM	SIMILAR		
FEC	FIRE EXTINGUISHER & CABINET	SOG SPECS	SLAB ON GRADE SPECIFICATIONS		
FFE FIG	FURNITURE, FIXTURES, AND EQUIPMENT FIGURE	SQ	SQUARE		
FIN	FINISH	SQ FT	SQUARE FEET		
FLR	FLOOR	STD	STANDARD		
FRP FTG	FIBERGLASS REINFORCED PLASTIC FOOTING	STL STRUCT	STEEL STRUCTURE / STRUCTURAL		
FIG	FOOTING	SYM	SYMMETRICAL		
GALV	GALVANIZED				
GA	GAUGE OR GAGE	TEMP THK'NS	TEMPORARY THICKNESS		
GYP BD GIR	GYPSUM BOARD GIRDER	T.O.	TOP OF		
GRD BM	GRADE BEAM	TRTD	TREATED		
		T.T.W.	TO THE WEATHER		
H/C	HANDICAPPED	TYP	TYPICAL		
HB HM	HOSE BIB HOLLOW METAL	UNO	UNLESS NOTED OTHERWISE		
HORIZ	HORIZONTAL				
HP	HIGH POINT	VCT VERT	VINYL COMPOSITION TILE VERTICAL		
HT HVAC	HEIGHT HEATING, VENTILATION, & AIR CONDITIONING	VERT	VERTICAL VERIFY IN FIELD		
11770	HEATING, VENTILATION, & AIN CONDITIONING	VL	VINYL		
INSUL	INSULATION	10//	NA/ITT I		
INTR	INTERIOR	W/ W/O	WITH WITHOUT		
INV	INVERT	WP	WATERPROOFING		
JT	JOINT	WS	WATER STOP		
		WT	WEIGHT		

SYMBOLS LEGEND



WT

WEIGHT

PROJECT GENERAL NOTES

CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING.

NAMING THE OWNER AND ARCHITECTS AS ADDITIONALLY INSURED.

- 1. THE TERM "WORK" AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.
- 2. THE TERM "CONTRACTOR" AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS.
- SCOPE OF WORK. THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, TAXES, PERMITS, AND FEES AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT.
- 4. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- . IF THE CONTRACT DRAWINGS AND SPECS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK.
- 6. THE ARCHITECT SHALL HAVE UNRESTRICTED ACCESS TO THE SITE DURING CONSTRUCTION OF THE PROJECT. IF A CONDITION EXISTS, THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ANY OF THE ARCHITECT'S CONSULTANTS, THE
- 7. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL ENSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE
- EVENT OF CONFLICT BETWEEN LOCAL, STATE, AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN.

 8. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT
- CONTRACTOR'S RESPONSIBILITY.

 9. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS AND METHODS AS OUTLINED IN THE CONTRACT DRAWINGS AND SPECIFICATIONS, AND ALL SAFETY PROCEDURES AND FOR
- COORDINATION OF ALL PORTIONS OF THE WORK.

 10. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW AND GENERAL LIABILITY SHALL BE CARRIED BY THE CONTRACTOR,

PROPERTIES DURING CONSTRUCTION. AND COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY ARE THE

- 11. GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE, UNLESS NOTED OTHERWISE IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS, FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIALS USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES AND SUBCONTRACTORS.
- 13. CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND, AT THE COMPLETION OF THE WORK, SHALL REMOVE ALL RUBBISH, IMPLEMENTS, AND SURPLUS MATERIALS, AND LEAVE THE PROJECT CLEAN AND IN SAFE CONDITION.
- 14. CONTRACTOR TO PROVIDE THE OWNER WITH A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS ASSOCIATED WITH ANY COMPONENT INCLUDED AS PART OF THE SCOPE OF WORK.
- 15. CONTRACTOR AND SUB-CONTRACTORS SHALL REFERENCE THE OWNERS PROJECT REQUIREMENTS (OPR) AND NOTIFY ARCHITECT AND MEP ENGINEER OF ANY DISCREPANCIES FROM THE OPR.
- 16. CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON SITE AND NOTE DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS AND DOCUMENT SPECIAL CONDITIONS THAT ARE EXPOSED. CONTRACTOR SHALL TURN THE RECORD SET OVER TO THE OWNER AT THE COMPLETION OF THE PROJECT.
- 17. NO OPEN FLAME DEVICES ARE ALLOWED WITHIN THE BUILDING OR ON COMPONENTS STILL ATTACHED TO THE BUILDING. THIS INCLUDES, BUT IS NOT LIMITED TO, TORCHES, WELDERS OR CIGARETTES.
- 18. DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER MEASUREMENTS.
- 19. THESE DOCUMENTS ARE THE COPYRIGHTED PROPERTY AND INTELLECTUAL PROPERTY OF MEADORS INC. THE DOCUMENTS ARE NOT TO BE REPRODUCED OR UTILIZED FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED AS STIPULATED ON THE COVER SHEET AND TITLEBLOCK. USE OF THE DOCUMENTS FOR ANY PURPOSE, SPECIFICALLY STIPULATED OR NOT, SHALL BE GRANTED ONLY VIA AUTHORIZED WRITING BY MEADORS INC.
- 20. NONE OF THE DOCUMENTS INCLUDED IN DRAWING INDEX ARE INTENDED TO BE CONSIDERED IN ISOLATION OF ONE ANOTHER. ALL PARTIES/ENTITIES UTILIZING THESE DOCUMENTS FOR BIDDING, QUANTITY SURVEY, AND/OR CONSTRUCTION SHALL CONSULT THE GENERAL NOTES AND INFORMATION LOCATED ON THIS SHEET AND ALL SHEETS FOR INFORMATION AND CONDITIONS GOVERNING WORK DESCRIBED IN DOCUMENTS LISTED IN THE DRAWING INDEX BEFORE PROCEDING WITH PROCUREMENT AND/OR CONSTRUCTION. GENERAL INFORMATION AND DATA SHEET(S) PROVIDE CODE PROCEDURAL AND USE GUIDELINES GOVERNING ALL BID AND/OR CONSTRUCTION DOCUMENTS. ALL BIDDERS, SUB-BIDDERS, CONTRACTORS, AND SUB-CONTRACTORS SHALL UTILIZE COMPLETE SETS OF THE BIDDING AND/OR CONSTRUCTION DOCUMENTS IN QUANTIFYING AND CONSTRUCTING. NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS, OMISSIONS, OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF BIDDING AND/OR CONSTRUCTION DOCUMENTS.
- 21. ALL CONSTRUCTION, MATERIALS, AND INSTALLATIONS SHALL CONFORM TO THE CURRENT CODES NOTED ON THE COVER SHEET OF THESE DRAWINGS AS WELL AS APPLICABLE STATE AND LOCAL CODES, TRADE ASSOCIATION STANDARDS AND/OR MANUFACTURER'S STANDARDS AS ADOPTED BY THE APPLICABLE LOCAL JURISDICTION HAVING AUTHORITY.
- 22. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS FROM ALL PUBLIC AUTHORITIES HAVING JURISDICTION.
- COORDINATE AREAS FOR LAYDOWN, STORAGE AND PARKING WITH ARCHITECT AND OWNER PRIOR TO BEGINNING THE WORK.
 FLOOR ELEVATIONS BASED ON SITE MEASUREMENTS W/ ELEVATION 0'-0" AT FIRST FLOOR. VERIFY DIMENSIONS PRIOR TO
- PERFORMING WORK.
- 25. PROVIDE ADEQUATE BLOCKING FOR ALL NEW SHELVING, BRACKETS, GRAB BARS, HANDRAILS, CABINETS, BATH ACCESSORIES, ETC.
 26. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND WITHIN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE
- ARCHITECT BEFORE PROCEEDING WITH THEIR WORK.
- WINDOWS, AND CENTERLINE OF FIXTURE, UNLESS NOTED OTHERWISE.

 28. ALL DIMENSIONS NOTED "VERIEV IN FIELD (V.L.E.)" SHALL BE MEASURED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. REPORT

DIMENSIONS ARE TAKEN FROM FACE OF FRAMING LUMBER, FACE OF CONCRETE/MASONRY, CENTER OF COLUMN, CENTERLINE OF

- 28. ALL DIMENSIONS NOTED "VERIFY IN FIELD (V.I.F.)" SHALL BE MEASURED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 29. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR SITUATIONS.
- 30. IN THE CASE OF DISCREPANCIES WITHIN DESCRIPTIONS OF SIMILAR ITEMS, PRECENDENCE SHALL BE GIVEN TO NOTES & DRAWINGS OF GREATER DETAIL.
- 31. ALL REQUIRED EXITS SHALL BE OPERABLE FROM THE INSIDE, WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
- 32. ANY ELECTRICAL, PLUMBING, AND/OR HVAC SYSTEMS INCLUDED IN THE WORK SHALL BE INSTALLED ON A DESIGN-BUILD BASIS, AND SHALL NOT SIGNIFICANTY ALTER THE STRUCTURE OR FINISHES.

EXISTING HAZARDOUS MATERIALS

- REFER TO ABESTOS INSPECTION REPORT PREPARED BY ASBESTOS INSPECTIONS, LLC DATED JANUARY 2, 2024.
 CONTRACTOR TO NOTE THAT THE PROJECT WAS NOT TESTED FOR LEAD PAINT, THEREFORE THE INSPECTION REPORT DOES NOT INCLUDE ANY REFERENCES TO LEAD PAINT. CONTRACTOR TO ASSUME THAT LEAD PAINT IS PRESENT AND TO TREAT SURFACES ACCORDINGLY.
- CONTRACTOR TO FOLLOW ALL FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS REGARDING THE REMOVAL OF ANY HAZARDOUS MATERIALS.

CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION SHALL BE TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION. ALL SUBCONTRACTORS SHALL BE PROVIDED WITH A SET OF DRAWINGS.
- 3. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS, AS WELL AS INSPECT THE PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR PROBLEMS WHICH COULD HAVE BEEN REASONABLY PREVENTED BY A THOROUGH EXAMINATION.
- 4. PROVIDE TEMPROARY SUPPORT AS NECESSARY TO ENSURE THE STRUCTURAL INTEGRITY OF THE BUILDING UNDER CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION-RELATED ACTIVITIES.
- 5. INSTALL FIXTURES, MATERIALS, AND EQUIPMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS. SHOULD THOSE SPECS CONFLICT
- WITH THE DRAWINGS, IMMEDIATELY NOTIFY THE ARCHITECT.
- 5. VERIFY CLEARANCES FOR FIXTURES, VENTS, CHASES, ETC. BEFORE ORDERING OR INSTALLING RELATED WORK ITEMS.
- INSTALL SMOKE DETECTORS AND FIRE EXTINQUISHERS IN CONFORMANCE TO LOCAL FIRE MARSHALL REQUIREMENTS.
- 8. ALL REQUIRED EXITS SHALL BE OPERABLE FROM THE INSIDE, WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE.
- 9. COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO: IRRIGATION PIPES, ELECTRICAL CONDUITS, WATER LINES, GAS LINES, AND DRAINAGE LINES.
- 10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REGULARLY REMOVING THE WASTE MATERIALS OF ALL SUBCONTRACTORS, AND MAINTAIN STRICT CONTROL OVER JOB CLEANING TO PREVENT DUST AND RUBBISH FROM INTERFERING WITH OPERATIONS. THIS STATEMENT DOES NOT RELIEVE THE SUBCONTRACTOR FROM PLACING THEIR WASTE MATERIALS IN THE SPECIFIED WASTE CONTAINERS. SUBCONTRACTORS ARE RESPONSIBLE FOR THEIR WORK AND KEEPING THE CONSTRUCTION SITE CLEAN.
- 11. CONSTRUCTION EQUIPMENT NOISE SHALL BE MINIMIZED DURING THE CONSTRUCTION PHASES BY MUFFLING AND SHEILDING IMPACT TOOLS WHENEVER POSSIBLE.

SITEWORK/GRADING NOTES

- 1. GRADING AND SITEWORK TO BE MINIMAL IN ALL AREAS NOT DIRECTLY AFFECTED BY THE WORK. FOLLOW BEST PRACTICES AND LOCAL REQUIREMENTS IN ORDER TO MINIMIZE ENVIRONMENTAL DAMAGE.
- PLUMBING LINES, SANITARY SEWER LINES. STORM DRAINAGE LINES, DOMESTIC WATER LINES, GAS LINES, TELECOMMUNCATIONS CABLING, AND IRRIGATION LINES ARE TO BE INSTALLED ON A DESIGN-BUILD BASIS.
- 3. FINISH GRADE MUST SLOPE AWAY FROM EXTERIOR FOUNDATION WALL, AT A HEIGHT OF 6 INCHES OVER A 10 FOOT DISTANCE.
- 4. ANY SURVEY MARKERS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.
- 5. BEFORE GRADING OPERATIONS, A TEMPORARY PROTECTION FENCE SHALL BE CONSTRUCTED AROUND ANY TREE WITHIN 30 FEET OF THE FOUNDATION, AND A SILT FENCE MUST BE CONSTRUCTED DOWNSLOPE OF ANY AREA WHERE THE SOIL IS DISTURBED.

FOUNDATION NOTES

- CONSULT SOILS REPORT AND STRUCTURAL DRAWINGS FOR SPECIFIC INFORMATION RELATED TO THE WORK AND EXISTING SITE.
 A. <u>NOTE</u>: GEOTECHNICAL EXPLORATION AND SOIL ANALSYIS HAS NOT YET BEEN PERFORMED. CONTRACTOR TO HIRE ENGINEER TO EXPLORE SUBSURFACE CONDITIONS AT THE SITE, EVALUATE THOSE CONDITIONS, AND PROVIDE RECOMMENDATIONS FOR SITE PREPARATION AND FOUNDATION SUPPORT.
- 2. FOOTINGS SHALL BE INSTALLED PER STRUCTURAL AND ARCHITECTUAL DRAWINGS AND COORDINATED WITH RECOMMENDATIONS FOUND WITHIN SOILS REPORT.
- PERFORATED DRAINAGE PIPES SHALL BE LOCATED WITHIN A GRAVEL PERIMETER AROUND THE FOUNDATION, AND INCORPORATE MULTIPLE DRAINAGE OUTLETS LEADING DOWNSLOPE AWAY FROM THE BUILDING. DRAINAGE PIPES MUST EXIT TO DAYLIGHT, CONNECT TO DESIGNATED DRY WELLS. OR CONNECT TO LOCAL MUNICIPAL STORM WATER.
- 4. ALL DOWNSPOUTS TO BE DIVERTED AWAY FROM BUILDING FOUNDATION BY USE OF SPLASH BLOCKS OR EXTENSIONS SO THAT DISCHARGE IS A MINIMUM OF 3 FEET AWAY FROM FOUNDATION. NO DOWNSPOUT SHALL DISCHARGE IN AN AREA THAT DOES NOT POSITIVELY DRAIN AWAY FROM FOUNDATION. IT IS PREFERRABLE FOR DOWNSPOUTS TO DISCHARGE IN SUBGRADE PIPING AND DIVERTED TO DESIGNATED DRY WELL LOCATIONS OR CONNECTED TO LOCAL MUNICIPAL STORM WATER.

FRAMING NOTES

- 1. PROVIDE TEMPORARY SUPPORT AS NECESSARY TO ENSURE THE STRUCTURAL INTEGRITY OF THE BUILDING UNDER CONSTRUCTION. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION-RELATED ACTIVITIES.
- 2. ALL WOOD WITHIN 8 INCHES OF THE GROUND SHALL BE PRESSURE TREATED OR COMPRISE A SUITABLY ROT RESISTANT MATERIAL. METAL CONNECTIONS WHICH TOUCH THIS WOOD SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
- 3. ANY PREFABRICATED ROOF TRUSSES MUST BE DESIGNED, CONSTRUCTED, AND CERTIFIED ACCORDING TO MANUFACTURERS'
- 4. ALL ROOF SHEATHING TO BE 5/8 INCH TONGUE AND GROOVE ADVANTECH.
- 5. FRAMING CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ALL HURRICANE CLIPS AND ASSOCIATED FASTENERS.

MASONRY REPOINTING NOTES

CONTRACTOR TO PLAN FOR 100% REPOINTING OF MASONRY PIERS, FIREPLACES, CHIMNEYS WITHIN CRAWLSPACE AND ATTIC, AND MASONRY FOUNDATION ELEMENTS. REFER TO SECTION 040323 "HISTORIC BRICK UNIT MASONRY REPOINTING" AND 040513 "MORTARS FOR STRUCTURAL REPAIRS" FOR ADDITIONAL INFORMATION.

Or Or

S N C E

S 2811 AZALEA DRIV



MEADORS, INC.
Charleston, SC
100192

FARMHOUSE 679 Eastland Ave

Construction Documents

PROJ. NO. 20-0087 ISSUE DATE: 02.05.2024

REVISIONS

DATE NOTES

NOTES &
SPECIFICATIONS

GENERAL NOTE ON INTERIOR & EXTERIOR PAINTING

CONTRACTOR TO ENSURE FINISHES ARE FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS. ALL HARD EDGES OF PAINT TO BE FEATHERED SO THAT VARIATIONS IN PAINT THICKNESS ARE NOT VISIBLE. DUE TO THE CONDITION OF THE EXTERIOR PAINT, COMPONENTS MAY REQUIRE COMPLETE PAINT REMOVAL TO ACHIEVE STABLE, WELL ADHERED, AND VISIBLY

- ANY CUT OR NOTCHED EXTERIOR WOOD SHALL BE COATED WITH A WOOD OR EPOXY SEALER TO PROTECT END GRAINS
- PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT ON EXISTING PAINTED ELEMENTS. NEW EXTERIOR WOOD SURFACES
- TO HAVE AN ADDITIONAL COAT OF OIL BASED PRIMER. REMOVE OVERPRINTING BOTH NEW AND OLD FROM ALL GLASS AND HARDWARE INTENDED TO BE AN UNPAINTED METAL
- INTERIOR AND EXTERIOR WOOD-PATCHING COMPOUND SHALL BE TWO-PART, EPOXY-RESIN (WEST SYSTEM 5:1, ABATRON 2:1,
- METAL-PATCHING COMPOUND SHALL BE TWO-PART, POLYESTER-RESIN (ABATRON; FERROBOND P., OR APPROVED EQUAL).

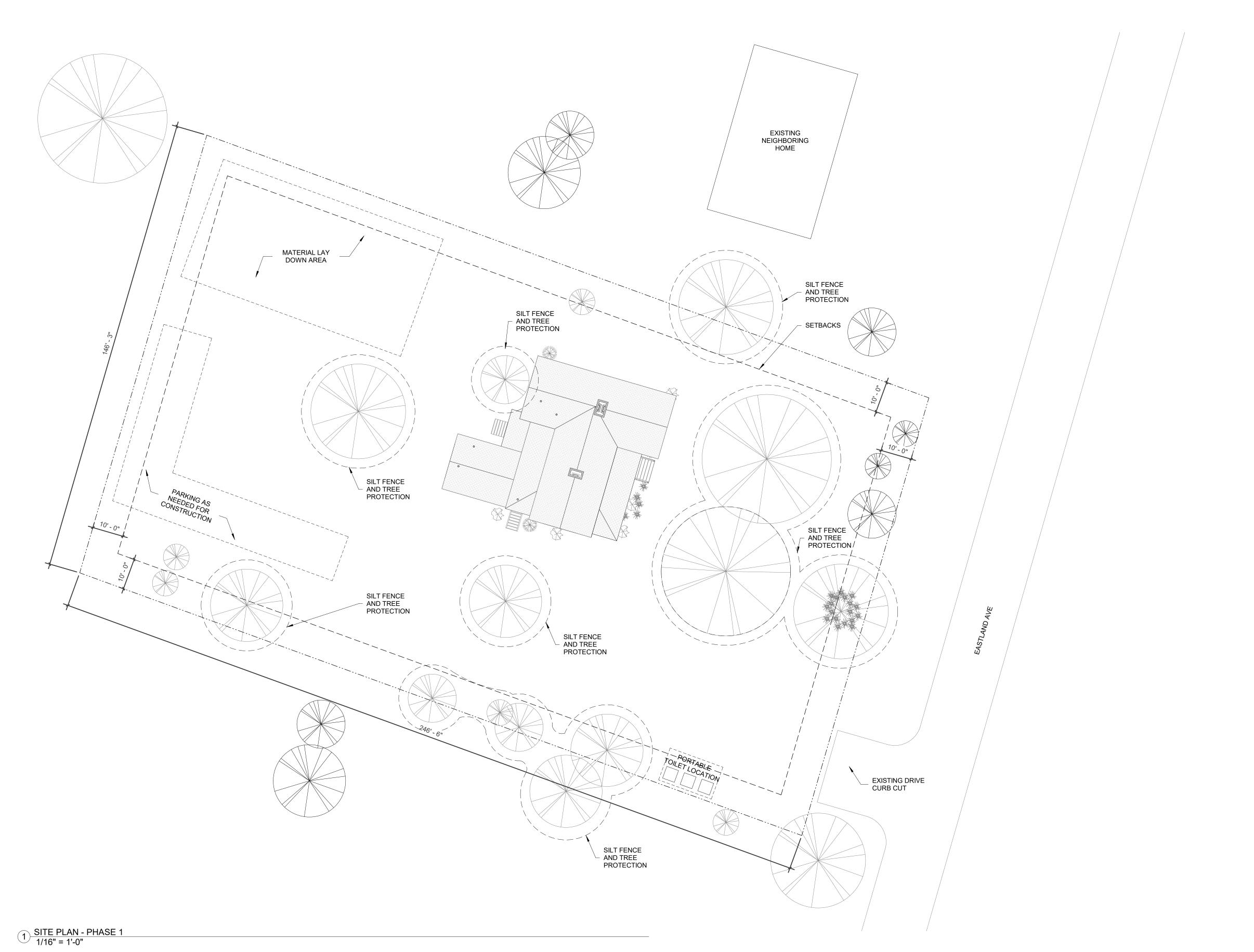
EXTERIOR MILLWORK NOTES

- CONTRACTOR TO ENSURE THAT ALL EXTERIOR MILLWORK AND TRIM IS FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS.
- MILLWORK/TRIM SHALL BE LAMINIATED AND FORMED, PRESHAPED, OR MACHINED TO THE DIMENSION/RADIUS AND FABRICATED IN THE LONGEST PRACTICAL LENGTHS TO MINIMIZE INSTALLER JOINTS. INSTALL WITH MINIMUM NUMBER OF JOINTS POSSIBLE, USING FULL-LENGTH PIECES FROM MAXIMUM LENGTH OF LUMBER AVAILABLE. COPE AT RETURNS; MITER AT CORNERS TO PRODUCE TIGHT FITTING JOINTS. USE SCARF JOINTS FOR END-TO-END JOINTS.
- ALL EXTERIOR MILLWORK AND TRIM SHALL BE MINIMUM CUSTOM GRADE AND CLEAR OF KNOTS, DEFECTS, AND BLEMISHES. UNLESS NOTED OTHERWISE, EXTERIOR MILLWORK AND TRIM IS INTENDED FOR OPAQUE FINISH.
- - C & BETTER PRESSURE-PRESERVATIVE-TREATED SOUTHERN PINE; SPIB
 - CEDAR
 - EXTERIOR STANDING AND RUNNING TRIM:

c. TEXTURE: SURFACED.

- BOARDS AND WORKED LUMBER PRODUCTS COMPLYING WITH REQUIREMENTS INDICATED BELOW INCLUDING THOSE OF GRADING AGENCIES LISTED WITH SPECIES.
 - a. SPECIES: WESTERN RED CEDAR: WWPA OR WCLIB.
 - GRADE: B AND BTR 1 AND 2 CLEAR. c. TEXTURE: SURFACED (SMOOTH).
- SIDING BOARD TYPE: LUMBER MILLED TO PATTERN AND SIZE INDICATED, COMPLYING WITH REQUIREMENTS INDICATED BELOW
- INCLUDING THOSE OF GRADING AGENCY USED WITH SPECIES: a. SPECIES: WESTERN RED CEDAR: WWPA OR WCLIB
 - GRADE: A GRADE VG.
- PATTERN: OVERALL DIMENSIONS AND PATTERN TO MATCH EXISTING AND AS SPECIFIED IN DRAWINGS.
- EXTERIOR MILLWORK SHALL BE PRIME COATED ALL SIDES PRIOR TO REACHING THE JOBSITE. ONCE INSTALLED, THE MILLWORK SHOULD BE COATED WITH TWO COATS OF FINISH PAINT. ALL MILLWORK/TRIM SHALL BE SURFACE FOUR SIDES (S4S).
- EXTERIOR MILLWORK/TRIM SHALL BE KILN DRIED AFTER TREATMENT (KDAT). MOISTURE CONTENT SHALL BE AS NOTED BELOW. LUMBER SHALL BE AT A MINIMUM PRIME COATED PRIOR TO REACHING THE JOBSITE. ONCE INSTALLED, THE KDAT LUMBER SHALL BE COATED WITH TWO COATS OF FINISH PAINT, ALL MILLWORK/TRIM SHALL BE SURFACE FOUR SIDES (S4S).
 - PROVIDE MATERIAL THAT HAS BEEN KILN DRIED AFTER TREATMENT, MOISTURE CONTENT MUST BE BELOW 15% WITH AT LEAST 85 PERCENT OF SHIPMENT AT 12% OR LESS.
- PRE-PRIME AND APPLY A MINIMUM OF ONE COAT OF FINISH PAINT ON ALL SIDES PRIOR TO INSTALLATION. ANY CUT OR NOTCHED WOOD SHALL BE COATED WITH AN EPOXY SEALER TO PROTECT END GRAINS FROM ABSORBING WATER.
- PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT AT EXTERIOR SURFACES.
- ALL GLASS SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS
- GUARDRAILS MUST BE LOCATED ALONG FLOOR SURFACES THAT ARE LOCATED 30 INCHES OR MORE ABOVE THE FLOOR OR GROUND
- 11. DO NOT USE FINGER-JOINTED WOOD.
- BOXED BEAMS, COLUMNS, PILASTERS, SEATS, BENCHES, AND TRELLISES SHALL BE SOUNDLY CONSTRUCTED, WITH TONGUED, SHOULDER MITERED, MORTISED AND TENONED, OR DOWELED JOINTS; SECURELY GLUED, NAILED, AND REINFORCED WITH GLUE BLOCKS OR METAL BRACKETS, AS APPROPRIATE.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING STRUCTURAL MEMBERS, GROUNDS, IN WALL BLOCKING, BACKING, FURRING, BRACKETS, OR OTHER ANCHORAGE REQUIRED FOR ARCHITECTURAL WOODWORK INSTALLATION THAT BECOMES AN INTEGRAL PART OF WALLS, FLOORS, OR CEILINGS TO WHICH ARCHITECTURAL WOODWORK, SUCH AS APPLIED SURFACING, STANDING AND RUNNING TRIM, WALL MOUNTED SHELF STANDARDS AND DOOR/WINDOW FRAMES SHALL BE INSTALLED.
- WALL, CEILING, AND/OR OPENING VARIATIONS IN EXCESS OF 1/4" OR FLOORS IN EXCESS OF 1/2" IN 144" OF BEING PLUMB, LEVEL, FLAT. STRAIGHT, SQUARE, OR OF THE CORRECT SIZE ARE NOT ACCEPTABLE FOR THE INSTALLATION OF ARCHITECTURAL WOODWORK, NOR IS IT THE RESPONSIBILITY OF THE INSTALLER TO SCRIBE OR FIT TO TOLERANCES IN EXCESS OF SUCH.
- CONTRACTOR SHALL VERFIY THAT INSTALLATION SITE IS PROPERLY VENTILATED, PROTECTED FROM DIRECT SUNLIGHT, EXCESSIVE HEAT AND/OR MOISTURE, AND THAT THE HVAC SYSTEM IS FUNCTIONING AND MAINTAINING THE APPROPRIATE RELATIVE HUMIDITY AND
- 16. CONTRACTOR SHALL VERIFY THAT THE REQUIRED PRIMING OF WOODWORK HAS BEEN COMPLETED BEFORE WOODWORK IS INSTALLED.
- CONTRACTOR SHALL VERIFY THAT THE WOODWORK HAS BEEN ACCLIMATED TO THE FIELD CONDITIONS FOR A MINIMUM OF 72 HOURS BEFORE INSTALLATION IS COMMENCED.
- 18. WOODWORK SPECIFICALLY BUILT OR ASSEMBLED IN SEQUENCE FOR MATCH OF COLOR AND GRAIN SHALL BE INSTALLED TO MAINTAIN THAT SAME SEQUENCE.
- WOODWORK SHALL BE: SECURELY FASTENED AND TIGHTLY FITTED WITH FLUSH JOINTS, AND; JOINERY SHALL BE CONSISTENT THROUGHOUT THE PROJECT; OF MAXIMUM AVAILABLE AND/OR PRACTICAL LENGTHS; TRIMMED EQUALLY FROM BOTH SIDES WHEN FITTED FOR WIDTH; SPLINED OR DOWELED WHEN MITERS ARE OVER 4" LONG; PROFILED OR SELF MITERED WHEN TRIM ENDS ARE EXPOSED; MITERED AT OUTSIDE CORNERS; MITERED FOR S4S AT INSIDE CORNERS; PROFILED TRIM COPED AT INSIDE CORNERS; INSTALLED PLUMB, LEVEL, SQUARE, AND FLAT WITHIN 1/8" IN 96"; INSTALLED FREE OF WARP, TWISTING, CUPPING, AND/OR BOWING THAT CONNOT BE HELD TRUE: SMOOTH AND SANDED WITHOUT CROSS SCRATCHES: AND SCRIBED AT FLAT AND SHAPED SURFACES.
- FASTENING AND FASTENERS SHALL: INCLUDE THE USE OF CONSTRUCTION ADHESIVE, FINISH NAILS, TRIM SCREWS, PINS AND/OR STAPLES, EXCEPT STAPLES WITH A CROWN EXCEEDING 3/16" ARE NOT PERMITTED; NOT PERMIT THE USE OF DRYWALL OR BUGLE HEAD SCREWS; REQUIRE EXPOXED FASTENERS TO BE COUNTERSUNK; REQUIRE EXPOSED FASTENERS TO BE SET IN QUIRKS AND RELIEFS WHERE POSSIBLE: REQUIRE EXPOSED FASTENERS TO BE INCONSPICUOUS WHEN VIEWED AT 24": NOT PERMIT EXPOSED FASTENING. THROUGH DECORATIVE LAMINATE; REQUIRE ALLOWABLE FASTENER HOLES, WHEN: PREFINISHED MATERIALS TO BE FILLED BY THE INSTALLER WITH MATCHING FILLER BY THE MANUFACTURER, UNFINISHED MATERIALS TO BE FILLED BY THE PAINT CONTRACTOR OR OTHERS. FILLER TO BE USED FOR HOLES UP TO 1/4" IN DIAMETER; PLUGS TO BE USED FOR ANY HOLES LARGER THAN 1/4" IN DIAMETER.
 - ANY FASTENERS USED AT PRESSURE TREATED MATERIALS MUST BE STAINLESS STEEL. WOOD FILLER / PATCHING COMPOUND: TWO-PART, EPOXY RESIN PATCHING SYSTEM: KNIFE-GRADE FORMULATION AS RECOMMENDED BY THE MANUFACTURER FOR TYPE OF WOOD REPAIR INDICATED, TOOLING TIME REQUIRED FOR THE DETAIL OF WORK, AND SITE CONDITIONS. COMPOUND SHALL BE DESIGNED FOR FILLING VOIDS IN DAMAGED WOOD MATERIALS THAT HAVE DETERIORATED DUE TO WEATHERING AND DECAY. COMPOUND SHALL BE CAPABLE OF FILLING DEEP HOLES AND SPREADING TO
 - PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE ONE OF THE FOLLOWING:
 - WEST SYSTEMS INC, WEST SYSTEM AN APPROVED EQUAL
 - USE A BISPHENOL A BASED LOW VISCOSITY LIQUID EPOXY RESIN WITH APPROPRIATE HARDENER THAT CURES TO A HIGH
 - STRENGTH PLASTIC SOLID UNDER ROOM TEMPERATURES. EPOXY TO HARDENER RATIO SHALL NOT EXCEED 5:1.
 - PRODUCT SHALL BE SPECIFICALLY DESIGNED TO BOND WITH HISTORIC WOOD FIBER AND MUST BE ABLE TO BE SANDED AND SHAPED WHEN CURED.
- 21. GLUE AND FILLER RESIDUE IS NOT PERMITTED ON EXPOSED FACES.
- EQUIPMENT CUTOUTS, INCLUDING ELECTRICAL AND PLUMBING, SHALL BE CUT OUT BY THE INSTALLER, PROVIDED TEMPLATES ARE FURNISHED PRIOR TO INSTALLATION, AND SHALL BE NEATLY CUT AND PROPERLY SIZED TO BE COVERED BY STANDARD COVER PLATES OR ROSETTES AND CUTOUTS IN HPDL SHALL HAVE RADIUSED INSIDE CORNERS.
- HARDWARE SHALL BE: INSTALLED NEATLY WITHOUT TEAR OUT OF SURROUNDING STOCK; INSTALLED PER MANUFACTURER'S INSTRUCTIONS; INSTALLED USING FURNISHED FASTENERS AND FASTENERS' PROVISIONS; AND ADJUSTED FOR SMOOTH OPERATION, WITHIN LIMITS OF THE SPECIFIED HARDWARE.
- AREAS OF INSTALLATION SHALL BE LEFT BROOM CLEAN. DEBRIS SHALL BE REMOVED AND DUMPED IN CONTAINERS PROVIDED BY THE CONTRACTOR. ITEMS INSTALLED SHALL BE CLEANED OF PENCIL OR INK MARKS.
- 25. FIRST CLASS WORKMANSHIP IS REQUIRED IN COMPLIANCE WITH THESE STANDARDS.
- COMPLY WITH APPLICABLE REQUIREMENTS OF 'ARCHITECTURAL WOODWORK QUALITY STANDARDS' BY AMERICAN
 - WOODWORKERS INSTITUTE (AWI).
- PRESERVATION BRIEF 45 "PRESERVING HISTORIC WOODEN PORCHES" AMERICAN SOFTWOOD LUMBER STANDARD PS20 AMERICAN PLYWOOD ASSOCIATION
- AMERICAN WOOD PRESERVERS BUREAU STANDARDS
- INSTALL FINISH CARPENTRY WORK PLUMB, LEVEL, TRUE AND STRAIGHT WITH NO DISTORTIONS. SHIM AS REQUIRED USING CONCEALED SHIMS. SCRIBE AND CUT FINISH CARPENTRY ITEMS TO FIT ADJOINING WORK. ANCHOR FINISH CARPENTRY WORK SECURELY TO SUPPORT AND SUBSTRATES USING CONCEALED FASTENERS AND BLIND NAILING WHERE POSSIBLE. USE FINE FINISH NAILS FOR EXPOSED NAILING EXCEPT AS INDICATED, COUNTERSUNK AND FILLED FLUSH WITH FINISH SURFACE.
- GREEN RECOMMENDED MANUFACTURERS AND PRODUCTS: (PER BUILDINGGREEN.COM)
- ARMSTER RECLAIMED LUMBER CO. RECLAIMED-WOOD LUMBER AND PRODUCTS INDUSTRIES MAIBEC, INC.
- CERTIFIED PR SHINGLES.
- 28. REFER TO SPECIFICATION SECTION 062012 "EXTERIOR FINISH CARPENTRY."

- PROTECT ALL EXISTING TREES.
 ARCHITECT RECOMMENDS THAT A CERTIFIED ARBORIST LIMB UP TREES TO REDUCE/MINIMIZE OVERHANGING BRANCHES AND CHECK HEALTH OF
- 3. CLEAR AWAY VEGETATION FROM FOUNDATION AS NEEDED FOR SCOPE OF WORK AND ANY UNHEALTHY TREES.
- 4. LOCATIONS FOR VEGETATION PROTECTION, PARKING ACCESS, MATERIALS LAY DOWN, AND PORTABLE TOILET FOR CONSTRUCTION ACTIVITIES NOTED ON SITE PLAN.







MEADORS, INC. Charleston, SC

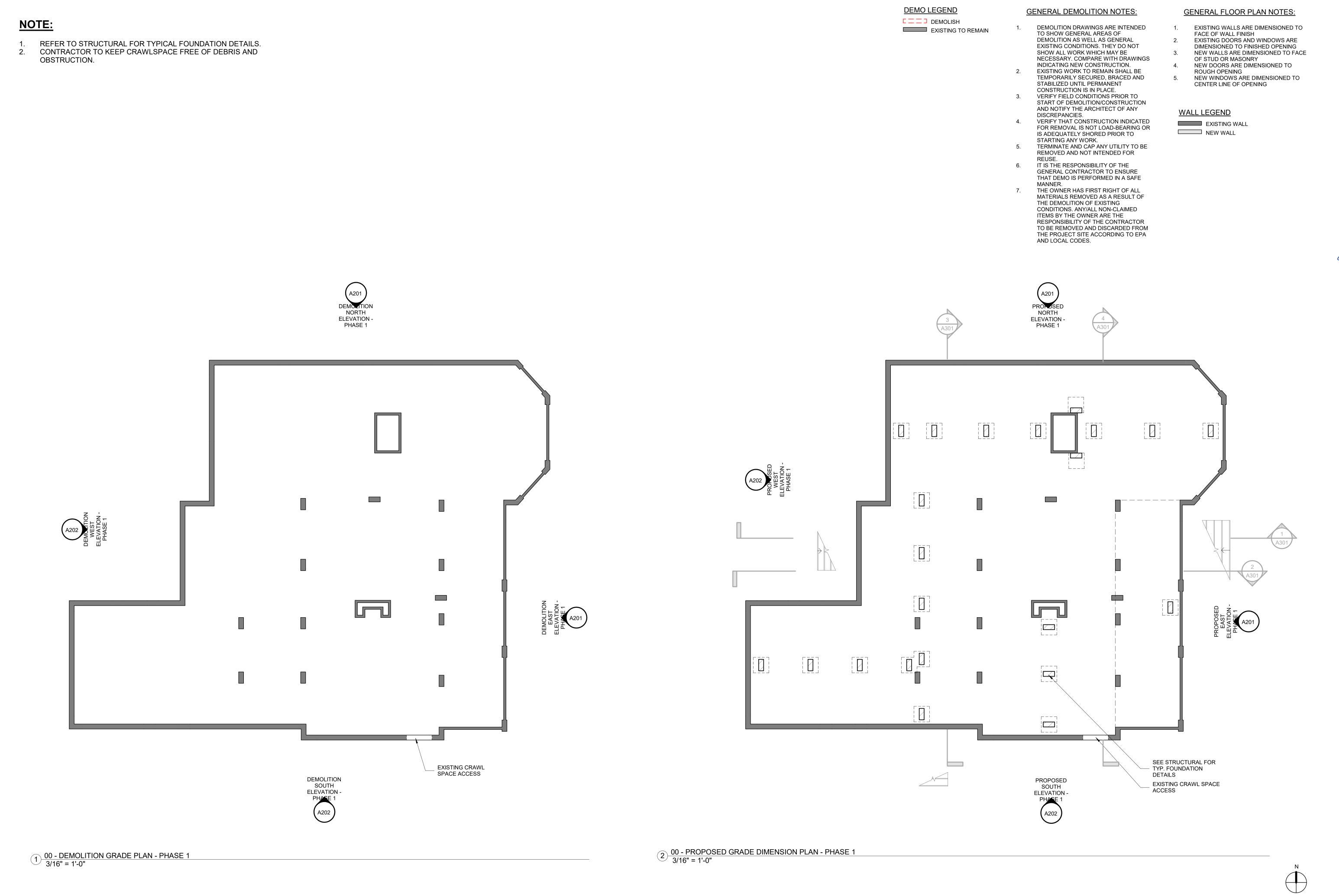
EPPS-MCGILL FARMHOUSE

Construction Documents PHASE 1

PROJ. NO. 20-0087 ISSUE DATE: 02.05.2024 REVISIONS

DATE NOTES

SITE PLAN



OF SOUTH CAROLANDERSON SC No. 9388

MEADORS, INC.
Charleston, SC
100192

EPPS-MCGILL
FARMHOUSE

Construction Documents

PHASE 1

PROJ. NO. 20-0087
ISSUE DATE: 02.05.2024

REVISIONS
DATE NOTES

DEMOLITION & PROPOSED GRADE PLAN

- OWNER TO REMOVE ALL FURNISHINGS PRIOR TO START OF PHASE 1 WORK. 1ST FLOOR PLANS INCLUDED FOR ORIENTATION AND REFERENCE PURPOSES.
- A. NO INTERIOR ALTERATIONS INCLUDED FOR PHASE 1. 3. SEE STRUCTURAL FOR 1ST FLOOR FRAMING PLAN.

GENERAL DEMOLITION NOTES:

- DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- EXISTING WORK TO REMAIN SHALL BE TEMPORARILY SECURED, BRACED AND STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE.
- VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD-BEARING OR
- IS ADEQUATELY SHORED PRIOR TO STARTING ANY WORK. TERMINATE AND CAP ANY UTILITY TO BE REMOVED AND NOT INTENDED FOR
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE
- MANNER. THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANY/ALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE REMOVED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

DEMOLITION NORTH

ELEVATION -

PHASE 1

DEMOLITION SOUTH ELEVATION -

PHASE 1

DEMO LEGEND

□□□□ DEMOLISH EXISTING TO REMAIN

GENERAL FLOOR PLAN NOTES:

Room

- EXISTING WALLS ARE DIMENSIONED TO FACE OF WALL FINISH EXISTING DOORS AND WINDOWS ARE
- DIMENSIONED TO FINISHED OPENING NEW WALLS ARE DIMENSIONED TO FACE OF STUD OR MASONRY
- NEW DOORS ARE DIMENSIONED TO ROUGH OPENING
- NEW WINDOWS ARE DIMENSIONED TO CENTER LINE OF OPENING

WALL LEGEND

EXISTING WALL

NEW WALL

Number	Room Name	Conditioned	(Conditioned)	(Uncondition	
01 - 1ST	01 - 1ST FLR				
E100	PORCH	No		234 SF	
E101	FOYER	Yes	197 SF		
E102	PARLOR	Yes	306 SF		
E103	BED 01	Yes	278 SF		
E104	CLOSET	No		15 SF	
E105	BATH 01	Yes	57 SF		
E106	DINING	Yes	286 SF		
E107	BREAKFAST	Yes	275 SF		
E108	CLOSET	No		13 SF	
E109	POWDER	Yes	37 SF		
E110	KITCHEN	Yes	232 SF		
E111	STORAGE	Yes	90 SF		

SQUARE FOOTAGE REPORT - EXISTING

Area

1757 SF

Area

262 SF

E200	BALCONY	No		234 SF
E201	HALL	Yes	204 SF	
E202	BED 02	Yes	317 SF	
E203	CLOSET	No		15 SF
E204	BED 03	Yes	270 SF	
E205	STORAGE	No		97 SF
E206	BED 04	Yes	278 SF	
E207	CLOSET	No		11 SF
E208	BACK STAIR HALL	Yes	210 SF	
			1279 SF	357 SF
Grand total			3035 SF	619 SF





CGILL EPPS-MC FARMHC

Construction Documents PHASE 1

PROJ. NO. 20-0087 ISSUE DATE: 02.05.2024 REVISIONS # DATE NOTES

DEMOLITION & PROPOSED 1ST FLR PLAN

1 01 - DEMOLITION 1ST FLR PLAN - PHASE 1 3/16" = 1'-0"

2 01 - PROPOSED 1ST FLR DIMENSION PLAN - PHASE 1 3/16" = 1'-0"

- OWNER TO REMOVE ALL FURNISHINGS PRIOR TO START OF PHASE 1 WORK. 2ND FLOOR PLANS INCLUDED PRIMARILY FOR ORIENTATION AND REFERENCE PURPOSES.
- A. NO INTERIOR ALTERATIONS INCLUDED FOR PHASE 1.
- SEE STRUCTURAL FOR 2ND FLOOR AND CEILING FRAMING PLANS. CONTRACTOR TO KEEP ATTIC ACCESS FREE OF DEBRIS AND OBSTRUCTION.

GENERAL DEMOLITION NOTES:

DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.

EXISTING WORK TO REMAIN SHALL BE

TEMPORARILY SECURED, BRACED AND

- STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE. VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION
- AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD-BEARING OR
- IS ADEQUATELY SHORED PRIOR TO STARTING ANY WORK. TERMINATE AND CAP ANY UTILITY TO BE REMOVED AND NOT INTENDED FOR
- REUSE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE MANNER.
- THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANY/ALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE REMOVED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

DEMO LEGEND

□□□□ DEMOLISH EXISTING TO REMAIN

GENERAL FLOOR PLAN NOTES:

- EXISTING WALLS ARE DIMENSIONED TO FACE OF WALL FINISH EXISTING DOORS AND WINDOWS ARE
- DIMENSIONED TO FINISHED OPENING NEW WALLS ARE DIMENSIONED TO FACE OF STUD OR MASONRY
- NEW DOORS ARE DIMENSIONED TO ROUGH OPENING
- NEW WINDOWS ARE DIMENSIONED TO CENTER LINE OF OPENING

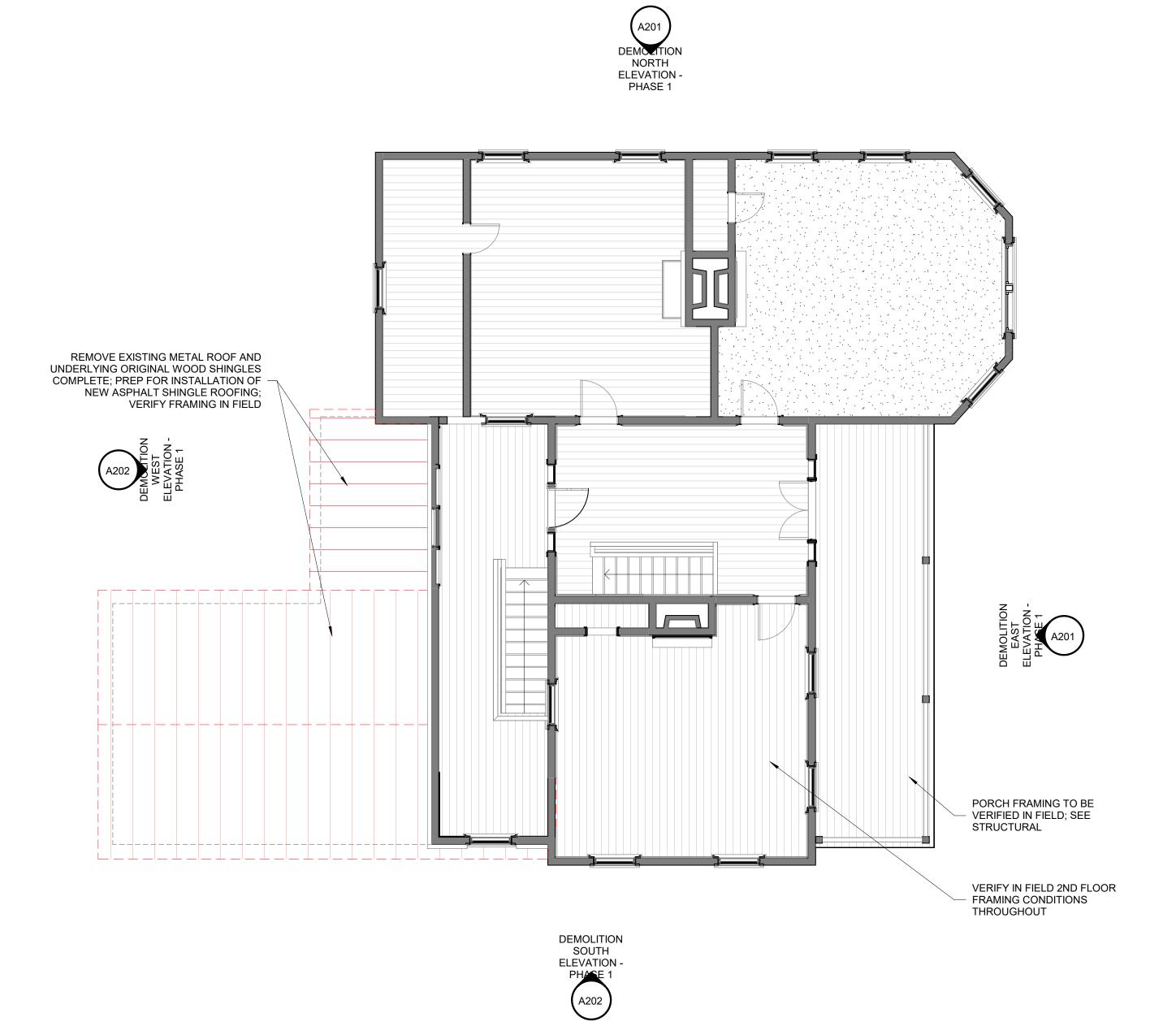
WALL LEGEND

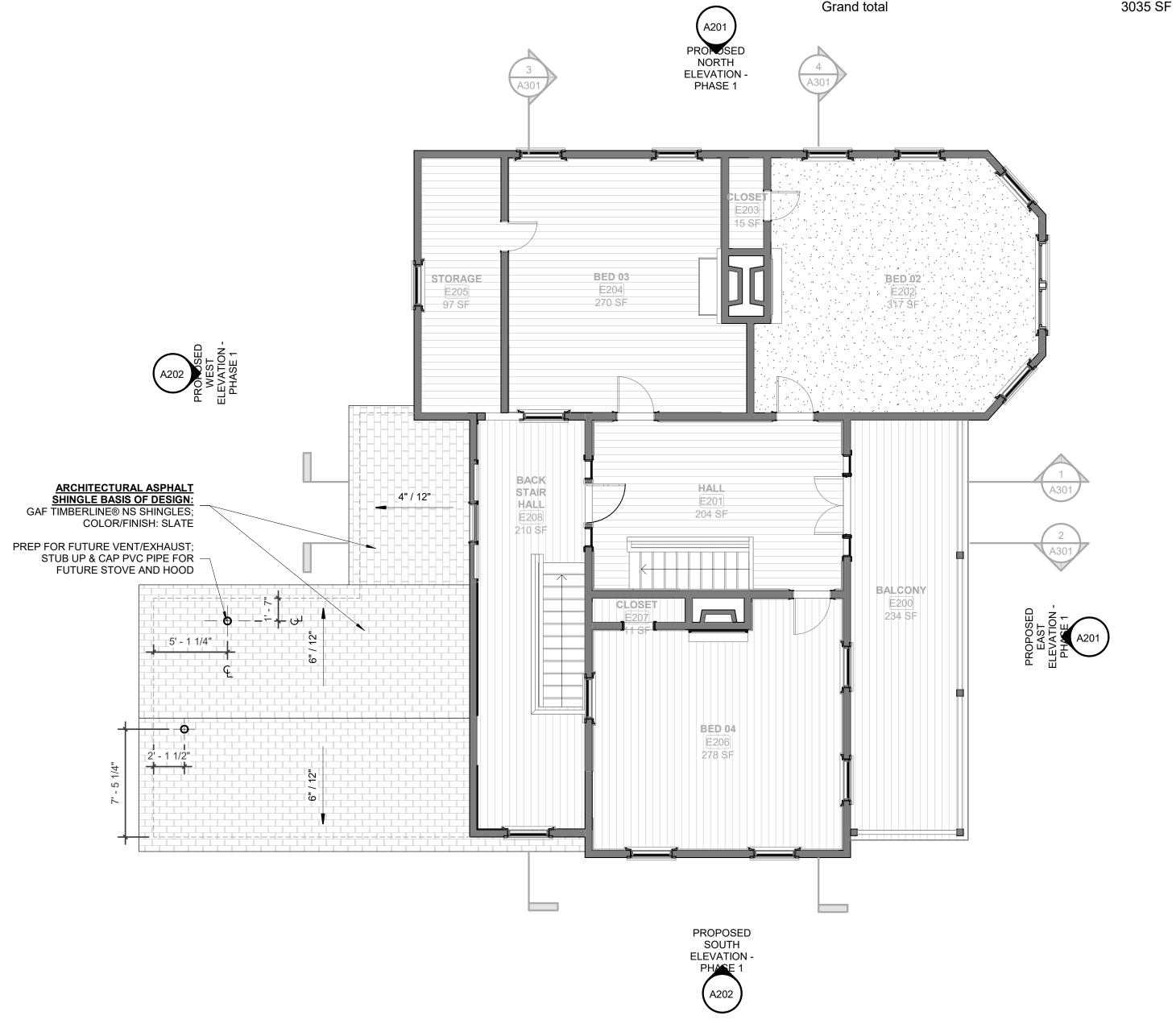
EXISTING WALL NEW WALL

		\		
Room Number	Room Name	Conditioned	Area (Conditioned)	Area (Unconditione
01 - 1ST	FLR			
E100	PORCH	No		234 SF
E101	FOYER	Yes	197 SF	
E102	PARLOR	Yes	306 SF	
E103	BED 01	Yes	278 SF	
E104	CLOSET	No		15 SF
E105	BATH 01	Yes	57 SF	
E106	DINING	Yes	286 SF	
E107	BREAKFAST	Yes	275 SF	
E108	CLOSET	No		13 SF
E109	POWDER	Yes	37 SF	
E110	KITCHEN	Yes	232 SF	
E111	STORAGE	Yes	90 SF	
			1757 SF	262 SF

SQUARE FOOTAGE REPORT - EXISTING

E200	BALCONY	No		234 SF
E201	HALL	Yes	204 SF	
E202	BED 02	Yes	317 SF	
E203	CLOSET	No		15 SF
E204	BED 03	Yes	270 SF	
E205	STORAGE	No		97 SF
E206	BED 04	Yes	278 SF	
E207	CLOSET	No		11 SF
E208	BACK STAIR HALL	Yes	210 SF	
			1279 SF	357 SF
Grand total			3035 SF	619 SF





2 02 - PROPOSED 2ND FLR DIMENSION PLAN - PHASE 1 3/16" = 1'-0"

DEMOLITION & PROPOSED 2ND FLR PLAN

MEADORS, INC.

Charleston, SC

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Documents

PHASE 1

REVISIONS

DATE NOTES

20-0087

02.05.2024

PROJ. NO.

ISSUE DATE:

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1 02 - DEMOLITION 2ND FLR PLAN - PHASE 1 3/16" = 1'-0"

1 03 - DEMOLITION ROOF PLAN - PHASE 1 3/16" = 1'-0"

GENERAL DEMOLITION NOTES:

- DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THEY DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY. COMPARE WITH DRAWINGS INDICATING NEW CONSTRUCTION.
- STABILIZED UNTIL PERMANENT CONSTRUCTION IS IN PLACE. VERIFY FIELD CONDITIONS PRIOR TO START OF DEMOLITION/CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY

EXISTING WORK TO REMAIN SHALL BE

TEMPORARILY SECURED, BRACED AND

- DISCREPANCIES. VERIFY THAT CONSTRUCTION INDICATED FOR REMOVAL IS NOT LOAD-BEARING OR
- IS ADEQUATELY SHORED PRIOR TO STARTING ANY WORK. TERMINATE AND CAP ANY UTILITY TO BE REMOVED AND NOT INTENDED FOR
- REUSE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT DEMO IS PERFORMED IN A SAFE
- MANNER. THE OWNER HAS FIRST RIGHT OF ALL MATERIALS REMOVED AS A RESULT OF THE DEMOLITION OF EXISTING CONDITIONS. ANY/ALL NON-CLAIMED ITEMS BY THE OWNER ARE THE RESPONSIBILITY OF THE CONTRACTOR TO BE REMOVED AND DISCARDED FROM THE PROJECT SITE ACCORDING TO EPA AND LOCAL CODES.

DEMO LEGEND

□□□□ DEMOLISH EXISTING TO REMAIN

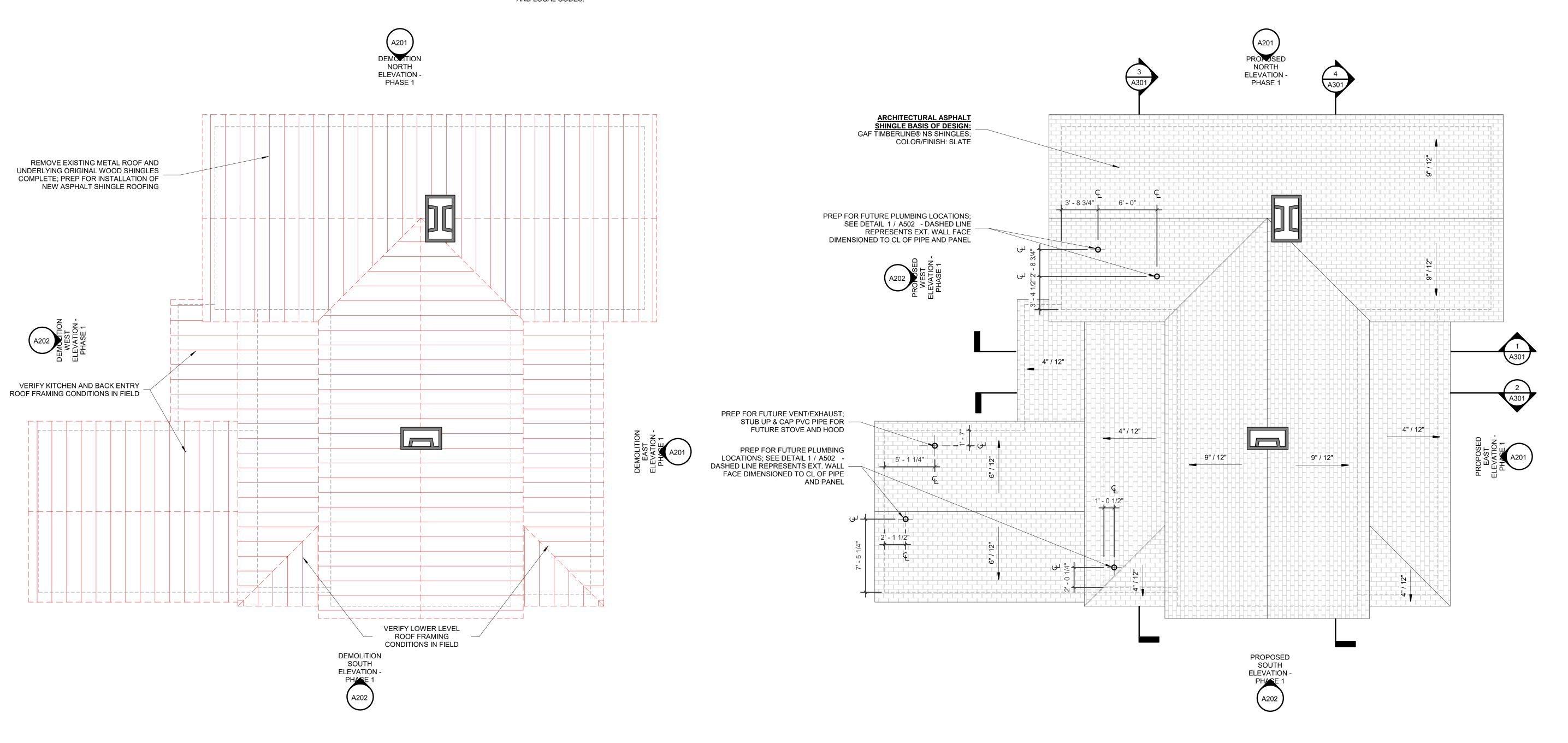
GENERAL FLOOR PLAN NOTES:

- 1. EXISTING WALLS ARE DIMENSIONED TO
- FACE OF WALL FINISH EXISTING DOORS AND WINDOWS ARE
- DIMENSIONED TO FINISHED OPENING NEW WALLS ARE DIMENSIONED TO FACE
- OF STUD OR MASONRY NEW DOORS ARE DIMENSIONED TO
- ROUGH OPENING NEW WINDOWS ARE DIMENSIONED TO CENTER LINE OF OPENING

WALL LEGEND

EXISTING WALL

NEW WALL



2 03 - PROPOSED ROOF DIMENSION PLAN - PHASE 1 3/16" = 1'-0"

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Construction Documents PHASE 1

PROJ. NO. 20-0087 ISSUE DATE: 02.05.2024 REVISIONS # DATE NOTES

DEMOLITION & PROPOSED **ROOF PLAN**

SEE SHEET A002 FOR NOTES REGARDING EXTERIOR MILLWORK / WOODWORK; REFER TO SECTION 062012 "EXTERIOR FINISH CARPENTRY" FOR ADDITIONAL INFORMATION.

GENERAL NOTE ON INTERIOR & EXTERIOR PAINTING

CONTRACTOR TO ENSURE FINISHES ARE FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS. ALL HARD EDGES OF PAINT TO BE FEATHERED SO THAT VARIATIONS IN PAINT THICKNESS ARE NOT VISIBLE. DUE TO THE CONDITION OF THE EXTERIOR PAINT, COMPONENTS MAY REQUIRE COMPLETE PAINT REMOVAL TO ACHIEVE STABLE, WELL ADHERED, AND VISIBLY HOMOGENOUS PAINT.

- A. ANY CUT OR NOTCHED EXTERIOR WOOD SHALL BE COATED WITH A WOOD OR EPOXY SEALER TO PROTECT END GRAINS
- PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT ON EXISTING PAINTED ELEMENTS. NEW EXTERIOR WOOD SURFACES
- TO HAVE AN ADDITIONAL COAT OF OIL BASED PRIMER. REMOVE OVERPRINTING BOTH NEW AND OLD FROM ALL GLASS AND HARDWARE INTENDED TO BE AN UNPAINTED METAL
- INTERIOR AND EXTERIOR WOOD-PATCHING COMPOUND SHALL BE TWO-PART, EPOXY-RESIN (WEST SYSTEM 5:1, ABATRON 2:1,





/MEADORS, INC. Charleston, SC 100192

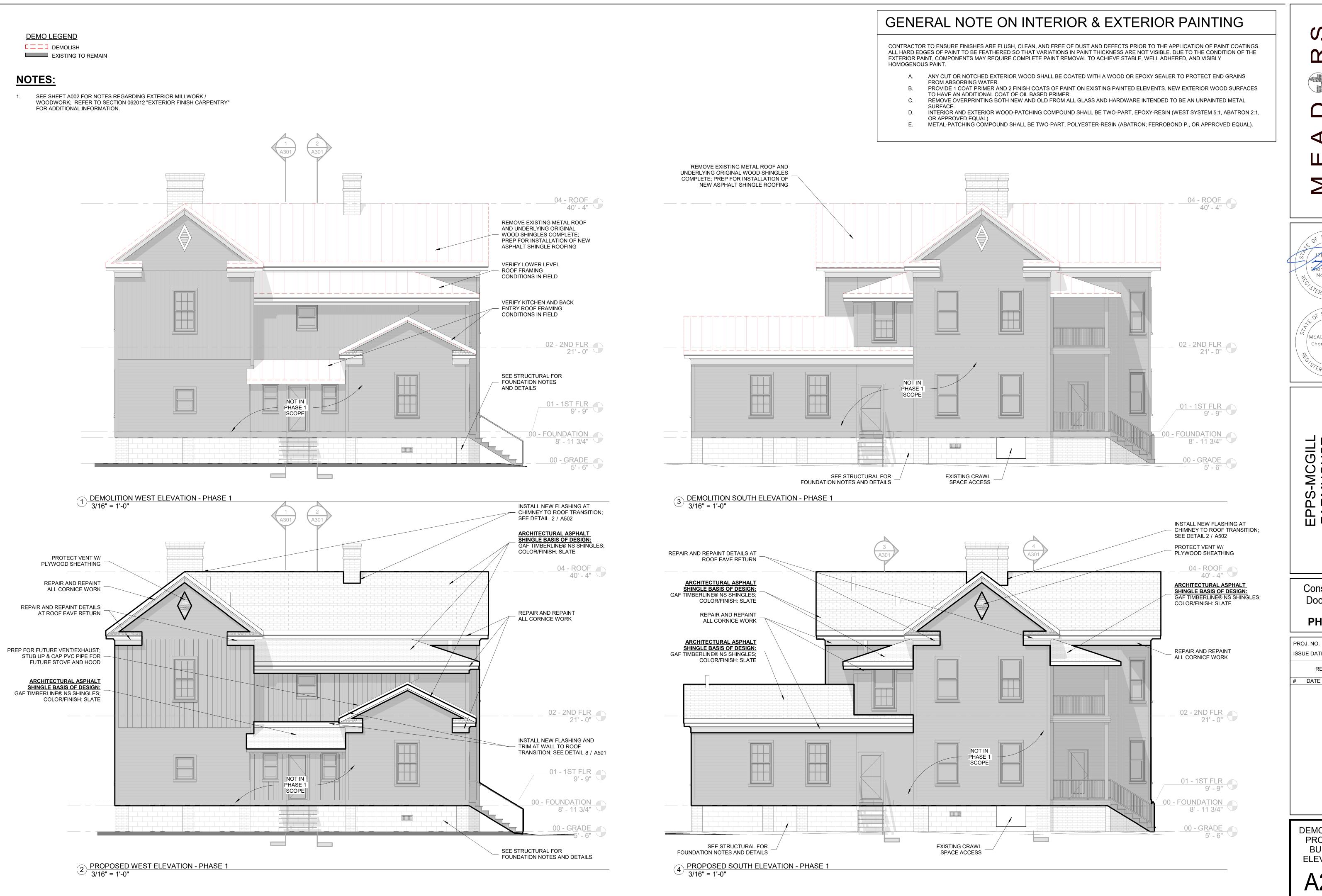
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PROJ. NO. 20-0087 ISSUE DATE: 02.05.2024 REVISIONS

DATE NOTES

DEMOLITION & PROPOSED BUILDING **ELEVATIONS**



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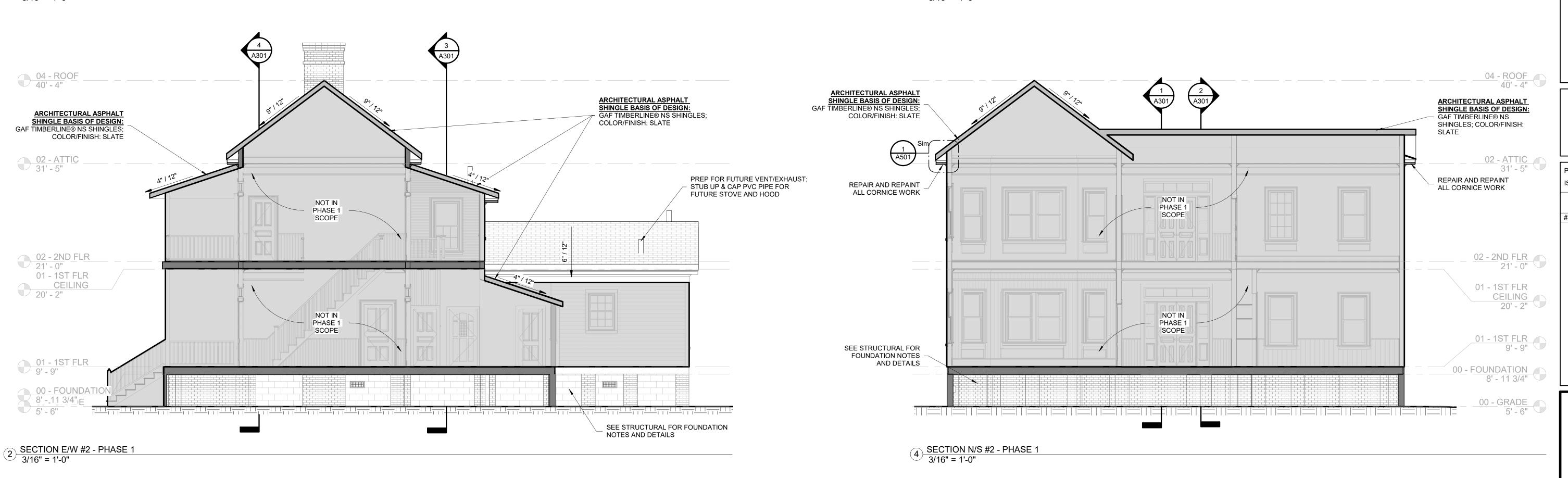
PHASE 1

20-0087 ISSUE DATE: 02.05.2024

REVISIONS DATE NOTES

DEMOLITION & PROPOSED BUILDING **ELEVATIONS**

GENERAL NOTE ON INTERIOR & EXTERIOR PAINTING **NOTES:** CONTRACTOR TO ENSURE FINISHES ARE FLUSH, CLEAN, AND FREE OF DUST AND DEFECTS PRIOR TO THE APPLICATION OF PAINT COATINGS. SEE STRUCTURAL FOR FRAMING AND FOUNDATION NOTES. ALL HARD EDGES OF PAINT TO BE FEATHERED SO THAT VARIATIONS IN PAINT THICKNESS ARE NOT VISIBLE. DUE TO THE CONDITION OF THE SEE SHEET A002 FOR NOTES REGARDING EXTERIOR MILLWORK / EXTERIOR PAINT, COMPONENTS MAY REQUIRE COMPLETE PAINT REMOVAL TO ACHIEVE STABLE, WELL ADHERED, AND VISIBLY WOODWORK; REFER TO SECTION 062012 "EXTERIOR FINISH HOMOGENOUS PAINT. CARPENTRY" FOR ADDITIONAL INFORMATION. ANY CUT OR NOTCHED EXTERIOR WOOD SHALL BE COATED WITH A WOOD OR EPOXY SEALER TO PROTECT END GRAINS PROVIDE 1 COAT PRIMER AND 2 FINISH COATS OF PAINT ON EXISTING PAINTED ELEMENTS. NEW EXTERIOR WOOD SURFACES TO HAVE AN ADDITIONAL COAT OF OIL BASED PRIMER. REMOVE OVERPRINTING BOTH NEW AND OLD FROM ALL GLASS AND HARDWARE INTENDED TO BE AN UNPAINTED METAL INTERIOR AND EXTERIOR WOOD-PATCHING COMPOUND SHALL BE TWO-PART, EPOXY-RESIN (WEST SYSTEM 5:1, ABATRON 2:1, METAL-PATCHING COMPOUND SHALL BE TWO-PART, POLYESTER-RESIN (ABATRON; FERROBOND P., OR APPROVED EQUAL). <u>ARCHITECTURAL ASPHALT</u> **ARCHITECTURAL ASPHALT** SHINGLE BASIS OF DESIGN: GAF TIMBERLINE® NS SHINGLES; IINGLE BASIS OF DESIGN 4 A301 A301 COLOR/FINISH: SLATE COLOR/FINISH: SLATE 04 - ROOF 40' - 4" ARCHITECTURAL ASPHALT SHINGLE BASIS OF DESIGN: GAF TIMBERLINE® NS SHINGLES COLOR/FINISH: SLATE A501 REPAIR AND REPAINT ALL CORNICE WORK NOT IN PHASE 1 NOT IN SCOPE PHASE 1 SCOPE 02 - 2ND FLR 21' - 0" 01 - 1ST FLR NOT IN PHASE 1 PHASE 1 SCOPE SCOPE SEE STRUCTURAL FOR FOUNDATION NOTES AND DETAILS SEE STRUCTURAL FOR FOUNDATION NOTES AND DETAILS 1 SECTION E/W #1 - PHASE 1 3/16" = 1'-0" 3 SECTION N/S #1 - PHASE 1 3/16" = 1'-0" 04 - ROOF 40' - 4" **ARCHITECTURAL ASPHALT**



ARCHITECTURAL ASPHALT
SHINGLE BASIS OF DESIGN:
GAF TIMBERLINE® NS SHINGLES;

04 - ROOF

02 - 2ND FLR

CEILING

01 - 1ST FLR 9' - 9"

8' - 11 3/4"

40' - 4"

COLOR/FINISH: SLATE

CONFIRM ROOF FRAMING

CONDITIONS IN FIELD

REPAIR AND REPAINT ALL CORNICE WORK

REPAIR AND REPAINT

ALL CORNICE WORK

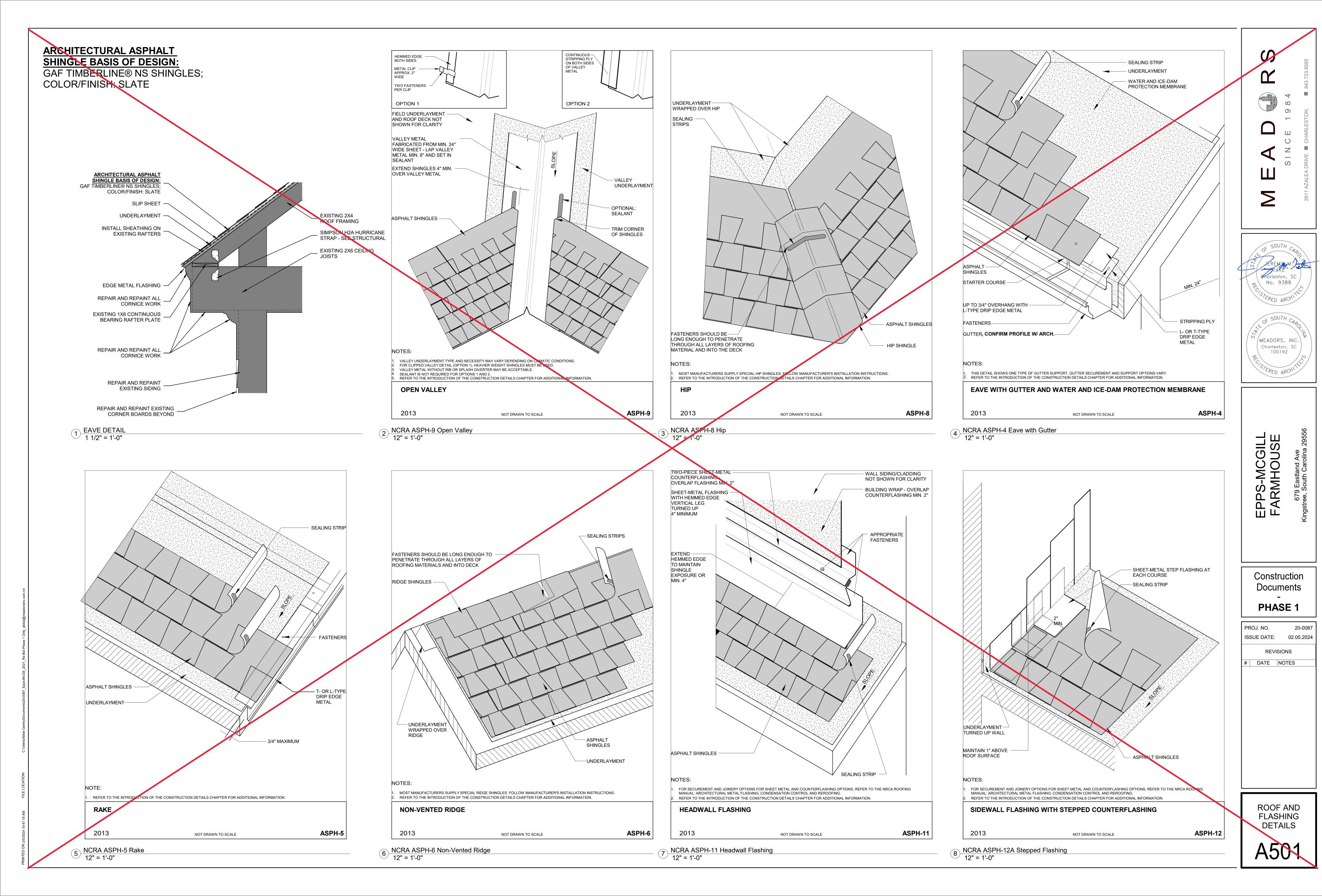
MEADORS, INC Charleston, SC 100192

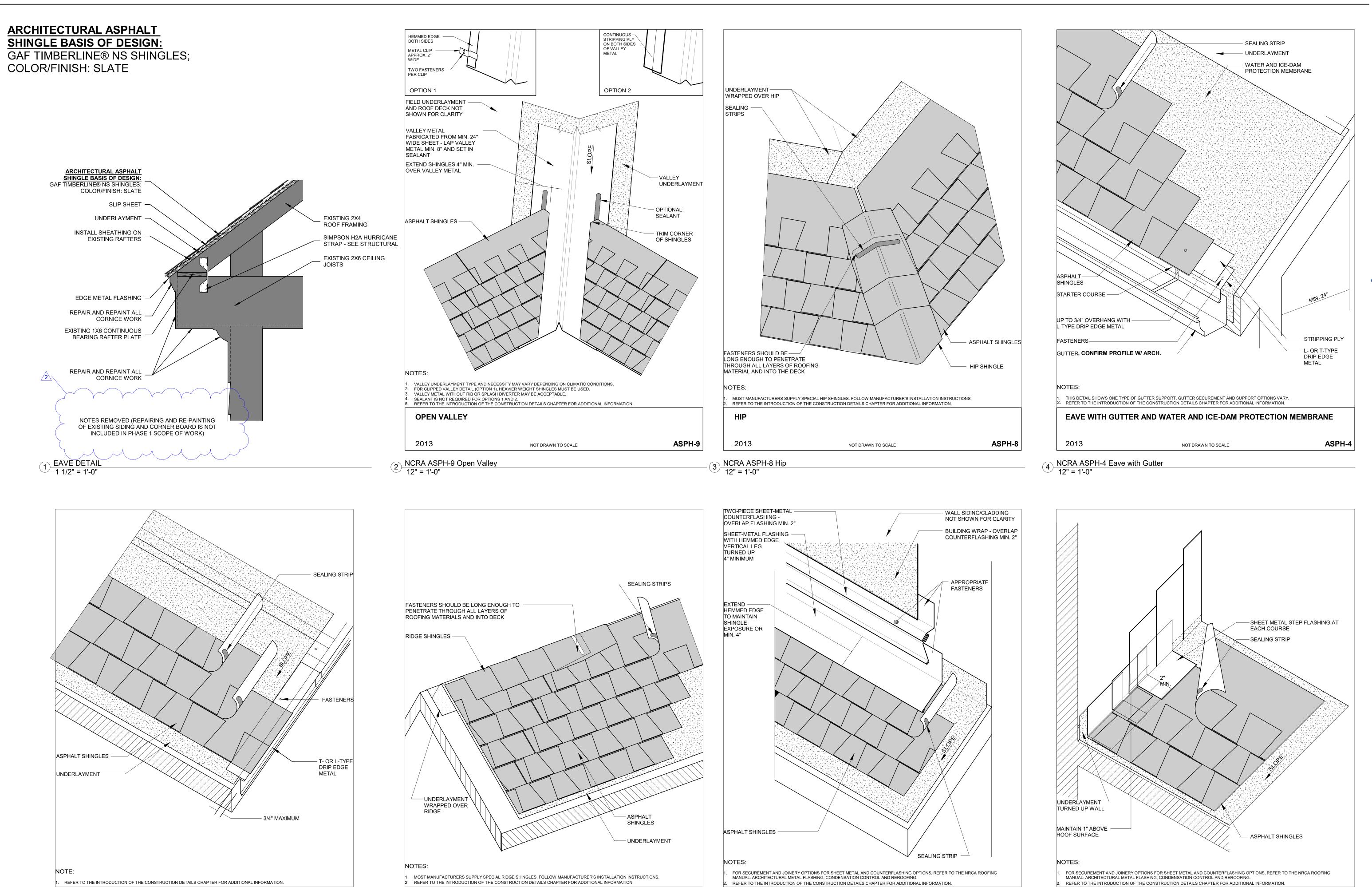
EPPS-MC FARMHC

Construction Documents PHASE 1

PROJ. NO. 20-0087 ISSUE DATE: 02.05.2024 **REVISIONS** DATE NOTES

> BUILDING SECTIONS





HEADWALL FLASHING

NOT DRAWN TO SCALE

ASPH-6

NON-VENTED RIDGE

NCRA ASPH-6 Non-Vented Ridge

NOT DRAWN TO SCALE

2013

ASPH-5

NOT DRAWN TO SCALE

RAKE

5 NCRA ASPH-5 Rake 12" = 1'-0" SINCE 1984
SORVE CHARLESTON. 843.723.8585

JEREMY M.

EPPS-MCGILL
FARMHOUSE

Construction Documents

PHASE 1

PROJ. NO. 20-0087
ISSUE DATE: 02.05.2024

REVISIONS

DATE NOTES

2 08/20/2024 Phase 1 scope of work clarification

ROOF AND FLASHING DETAILS

ASPH-12

SIDEWALL FLASHING WITH STEPPED COUNTERFLASHING

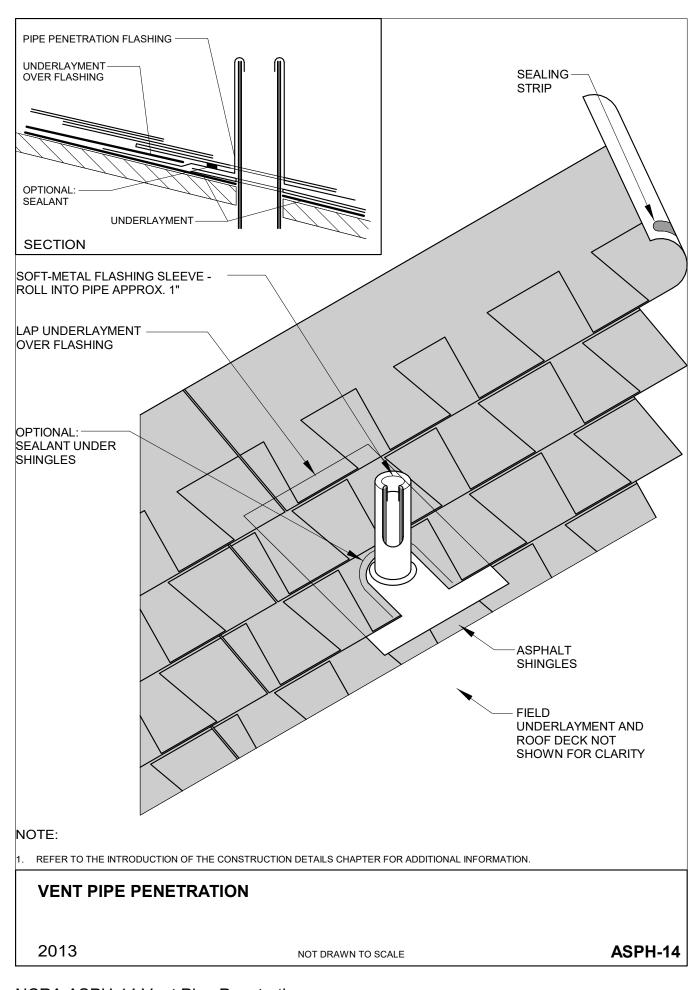
NOT DRAWN TO SCALE

ASPH-11

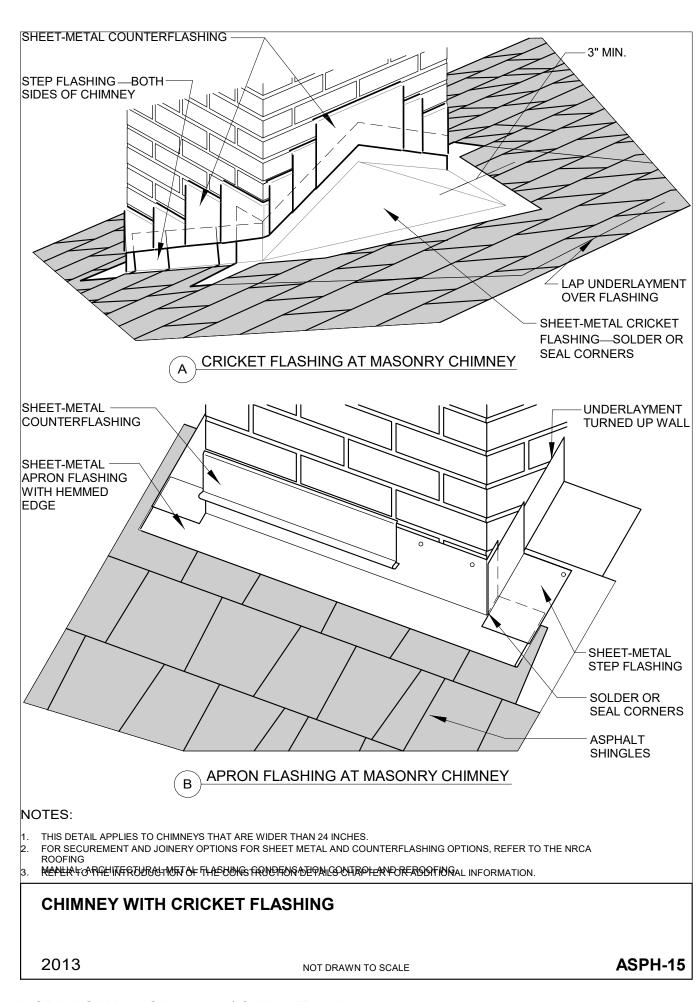
2013

8 NCRA ASPH-12A Stepped Flashing 12" = 1'-0"

ARCHITECTURAL ASPHALT SHINGLE BASIS OF DESIGN: GAF TIMBERLINE® NS SHINGLES; COLOR/FINISH: SLATE



NCRA ASPH-14 Vent Pipe Penetration
12" = 1'-0"



2 NCRA ASPH-13 Chimney w/ Cricket Flashing 12" = 1'-0"

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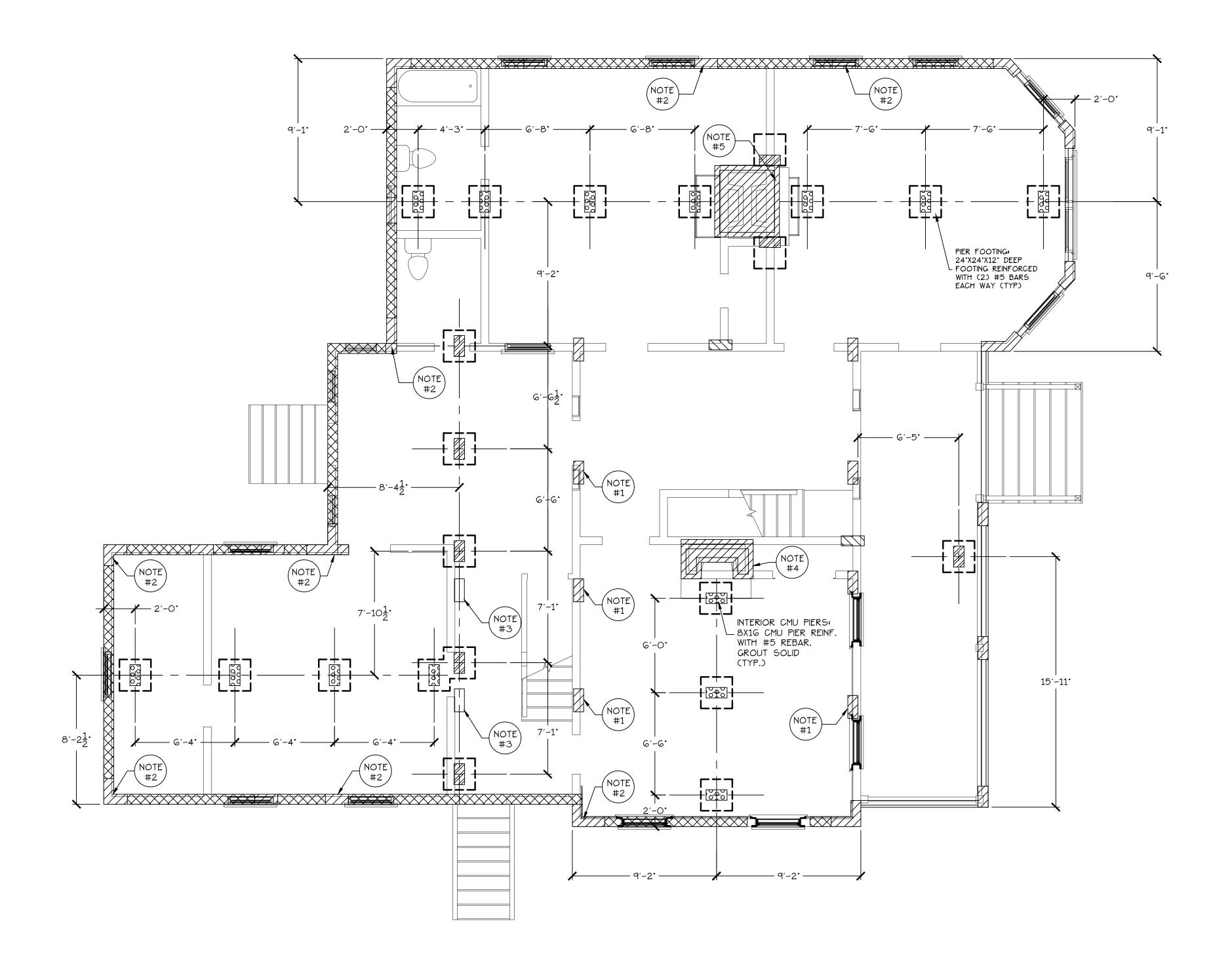
MEADORS, INC. Charleston, SC 100192

Construction Documents

PHASE 1

PROJ. NO. 20-0087 ISSUE DATE: 02.05.2024 # DATE NOTES

> **ROOF AND** FLASHING **DETAILS**



1. CONTRACTOR TO COORDINATE LOCATION OF ALL LOAD BEARING WALLS WITH FOUNDATION PLAN PROVIDED BY ENGINEER. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN FOUNDATION PLAN AND LOCATION OF INTERIOR AND EXTERIOR LOAD BEARING WALLS.

NOTE:

ALL DIMENSIONS TO BE
VERIFIED WITH LATEST
ARCHITECTURAL DRAWINGS
AND IN THE FIELD BY
GENERAL CONTRACTOR
PRIOR TO CONSTRUCTION.

FOUNDATION PIER NOTES:

NOTE #1: EXISTING INTERIOR BRICK MASONRY PIER:

MORTAR JOINT LOSS AND SPALLING OF BRICK SURFACE OBSERVED AT EXISTING BRICK FOUNDATION PIER. REMOVE EXISTING DAMAGED BRICK AND REPLACE WITH NEW BRICK MASONRY OF SIMILAR DIMENSION. MORTAR JOINTS AT BRICK MASONRY ARE TO BE REPOINTED WITH COMPATIBLE MORTAR AS REQUIRED.

G.C. OPTION TO REMOVE EXISTING PIER AND REPLACE WITH NEW 8X16 CMU FOUNDATION PIER ON ISOLATED FOOTING AS SHOWN.

NOTE #2: EXISTING EXTERIOR BRICK MASONRY PIER:

MORTAR JOINT LOSS AND SPALLING OF BRICK SURFACE OBSERVED AT EXISTING BRICK FOUNDATION PIER. REMOVE EXISTING DAMAGED BRICK AND REPLACE WITH NEW BRICK MASONRY OF SIMILAR DIMENSION. MORTAR JOINTS AT BRICK MASONRY ARE TO BE REPOINTED WITH COMPATIBLE MORTAR AS REQUIRED.

NOTE #3: EXISTING INTERIOR BRICK MASONRY PIER:

EXISTING DRY STACK MASONRY PIER. REMOVE EXISTING PIER FOLLOWING INSTALLATION OF NEW 8X16 CMU FOUNDATION PIER ON ISOLATED FOOTING AS SHOWN. VERIFY NO BEAM SPLICE EXISTS AT DRY STACK PRIOR TO REMOVAL.

NOTE #4: EXISTING FIREPLACE BRICK MASONRY:

MORTAR JOINT LOSS OBSERVED AT EXISTING BRICK FIREPLACE. MORTAR JOINTS AT BRICK MASONRY ARE TO BE REPOINTED WITH COMPATIBLE MORTAR AS REQUIRED.

NOTE #5: EXISTING FIREPLACE BRICK MASONRY:

LARGE SEPARATION CRACK IN BRICK MASONRY NOTED AT BASE OF FIREPLACE. REMOVE EXISTING DAMAGED BRICK AND REPLACE WITH NEW BRICK MASONRY OF SIMILAR DIMENSION. REPOINT WITH COMPATIBLE MORTAR AS REQUIRED.

(EY:

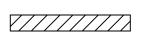
INDICATES CENTERLINE OF 8'x16' CMU PIER UNLESS OTHERWISE NOTED

CMU PIER/FOUNDATION WALL LEGEND

NEW INTERIOR CMU PIERS AT DROPPED GIRDER: 8X1G REINFORCED CMU PIER GROUT SOLID. TOP OF BLOCK: $-1\frac{1}{2}$ BELOW BOTTOM OF DROPPED GIRDER. SEE 1/S2 FOR DROPPED GIRDER FRAMING PLAN.

NEW INTERIOR CMU PIERS AT EXISTING GIRDER: 8X16 REINFORCED CMU PIER GROUT SOLID. TOP OF BLOCK: $-1\frac{1}{2}$ BELOW BOTTOM OF EXISTING GIRDER. SEE 1/S3 FOR 1ST FLOOR FRAMING PLAN.

EXISTING FOUNDATION STRUCTURE: EXISTING EXTERIOR 8° CMU BLOCK FOUNDATION WALL.



EXISTING FOUNDATION STRUCTURE: EXISTING EXTERIOR AND INTERIOR BRICK MASONRY PIERS AND FIREPLACE BRICK MASONRY.



SCALE: 1/4" = 1'-0"

EPPS-MCGGILL FARMHOUS
679 EASTLAND AVENUE
KINGSTREE, SC
FOUNDATION PLAN

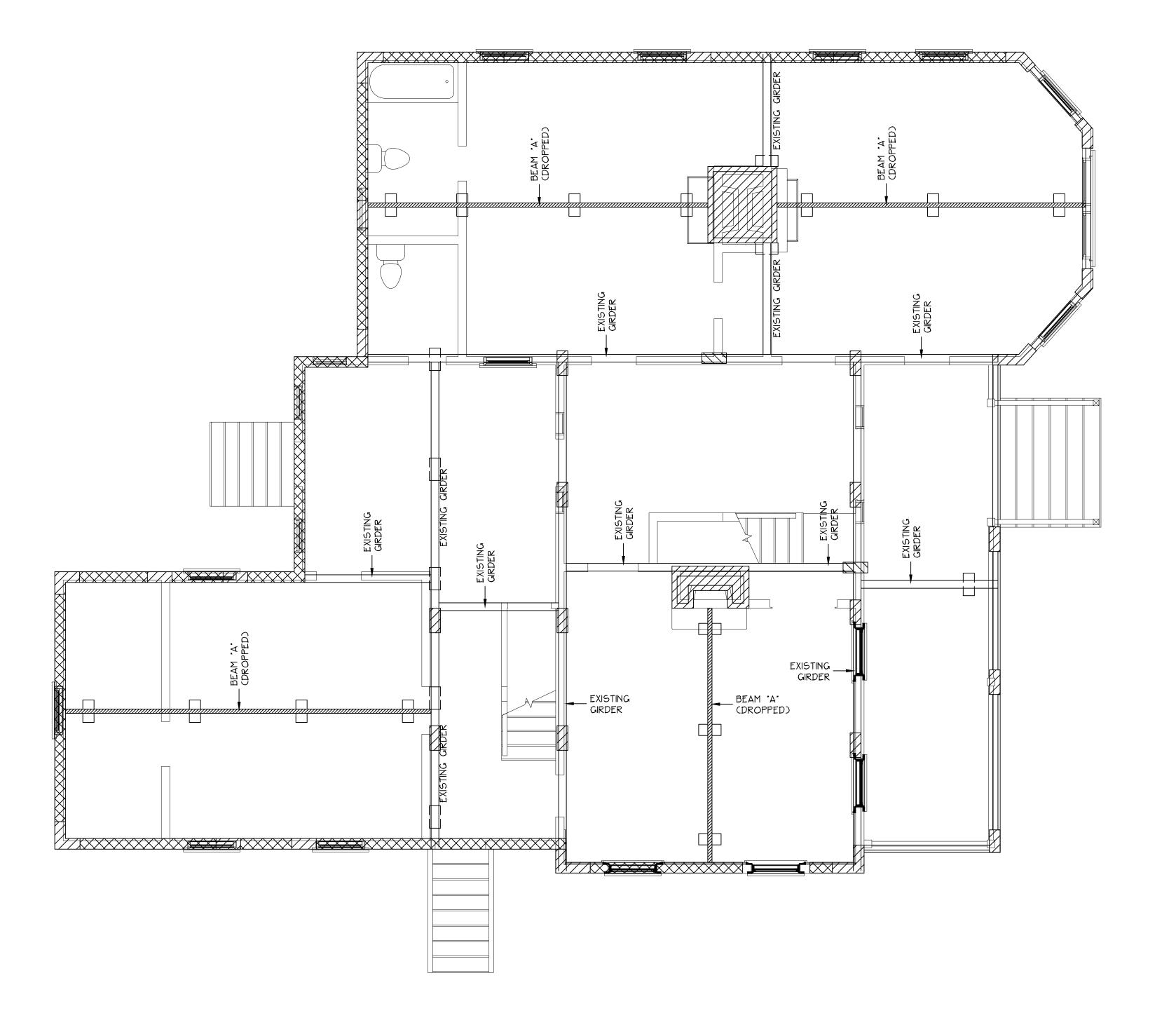
EPPS-MCGILL PHASE 1

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MICHAEL H. HANCE, PE, LLC

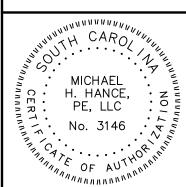
DWG NO:
S-1



1. CONTRACTOR TO COORDINATE LOCATION OF ALL LOAD BEARING WALLS WITH FOUNDATION PLAN PROVIDED BY ENGINEER. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN FOUNDATION PLAN AND LOCATION OF INTERIOR AND EXTERIOR LOAD BEARING WALLS.

NOTE:

ALL DIMENSIONS TO BE VERIFIED WITH LATEST ARCHITECTURAL DRAWINGS AND IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.



EPPS-MCGGILL FARMHOUS 679 EASTLAND AVENUE KINGSTREE, SC

EPPS-MCGILL PHASE 1

DWG NO:

S-2

February 5, 2024

KEY:

DROPPED GIRDER. SEE BEAM SCHEDULE FOR SIZE AND DEPTH.

BEAM SCHEDULE:

BEAM "A" -

(3) 2X8 SYP #2 BEAM. (PRESS. TREATED DROPPED GIRDER). SEE 1/S2

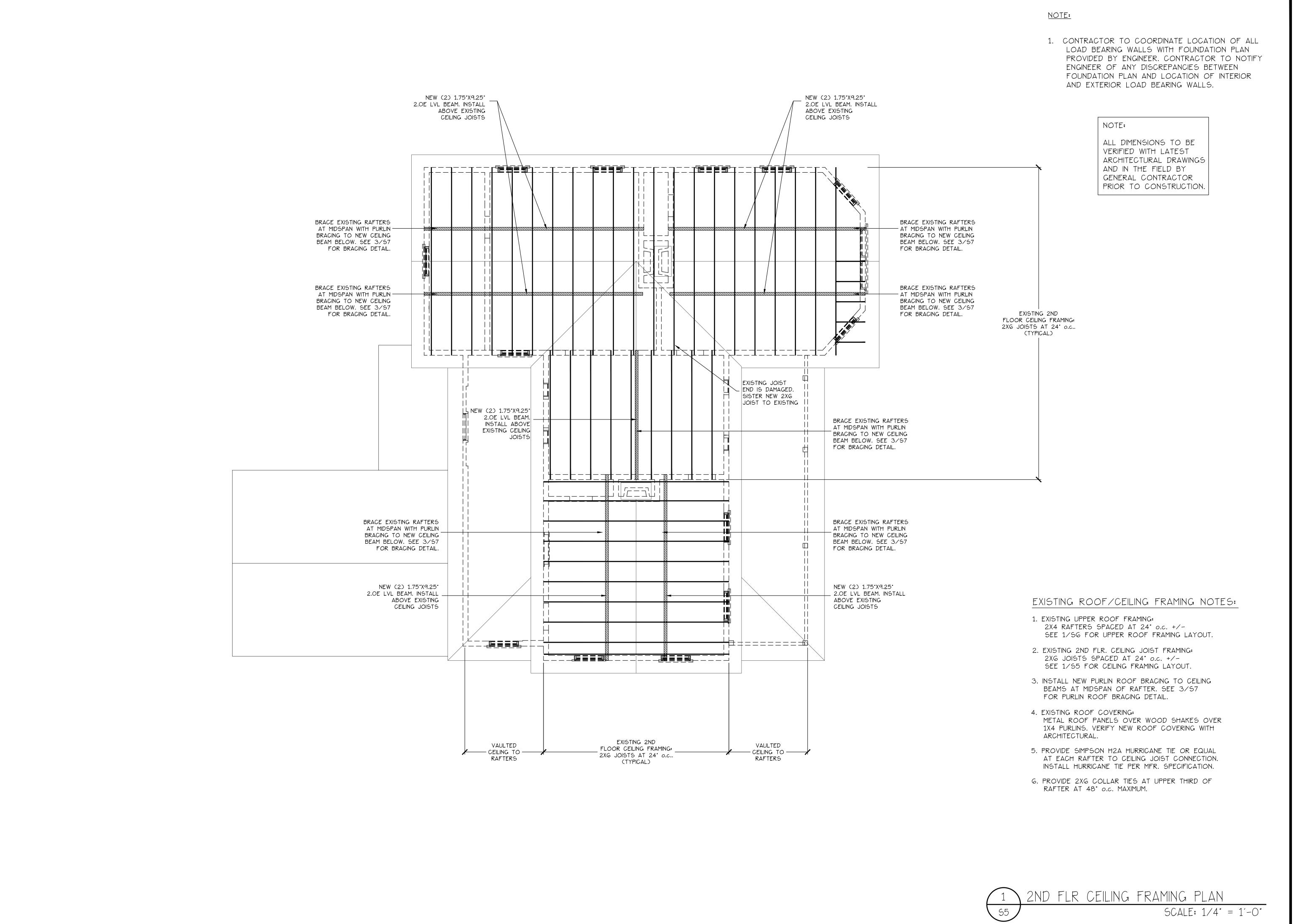
CMU PIER/FOUNDATION WALL LEGEND

DROPPED GIRDER FRAMING PLAN

EXISTING FOUNDATION STRUCTURE: EXISTING EXTERIOR 8' CMU BLOCK FOUNDATION WALL.

EXISTING FOUNDATION STRUCTURE: EXISTING EXTERIOR AND INTERIOR BRICK MASONRY PIERS AND FIREPLACE BRICK MASONRY.

SCALE: 1/4" = 1'-0"



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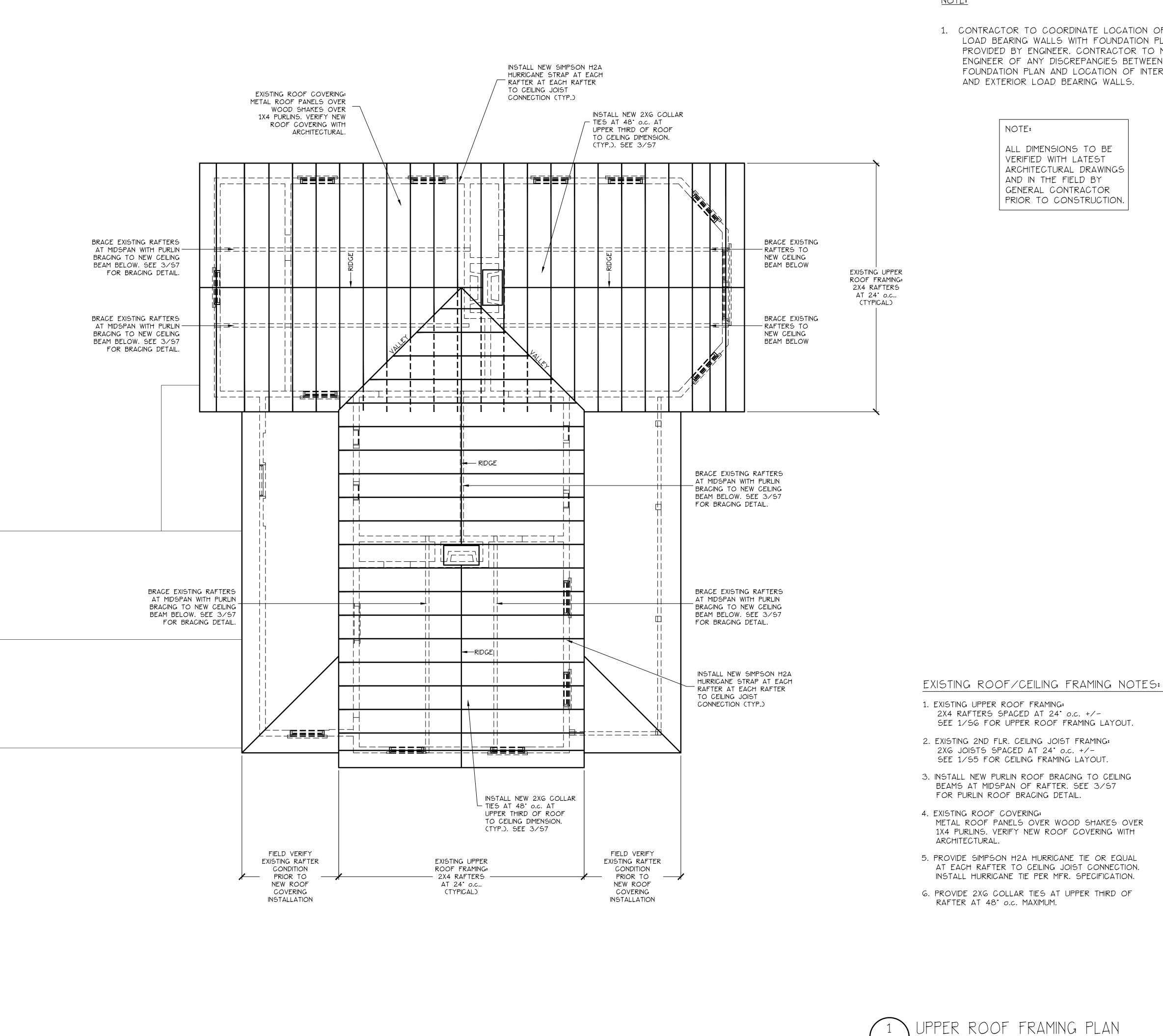
"TH CARO MICHAEL H. HANCE, PE, LLC No. 3146

EPPS-MCGGILL FARMHOUS 679 EASTLAND AVENUE KINGSTREE, SC

EPPS-MCGILL PHASE 1

DWG NO:

S-5



1. CONTRACTOR TO COORDINATE LOCATION OF ALL LOAD BEARING WALLS WITH FOUNDATION PLAN PROVIDED BY ENGINEER. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN FOUNDATION PLAN AND LOCATION OF INTERIOR AND EXTERIOR LOAD BEARING WALLS.

NOTE:

ALL DIMENSIONS TO BE VERIFIED WITH LATEST ARCHITECTURAL DRAWINGS AND IN THE FIELD BY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION.

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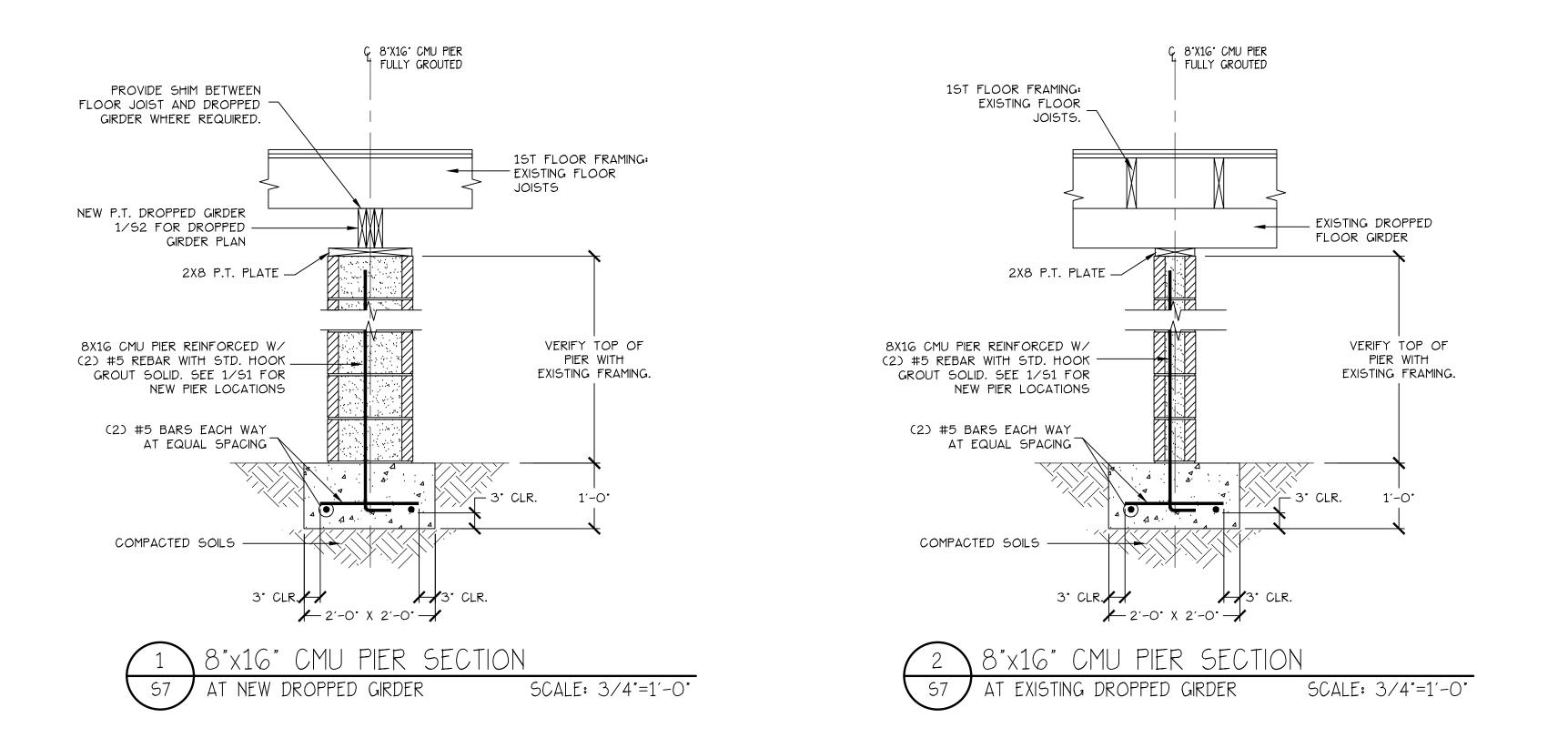
MICHAEL H. HANCE, PE, LLC No. 3146

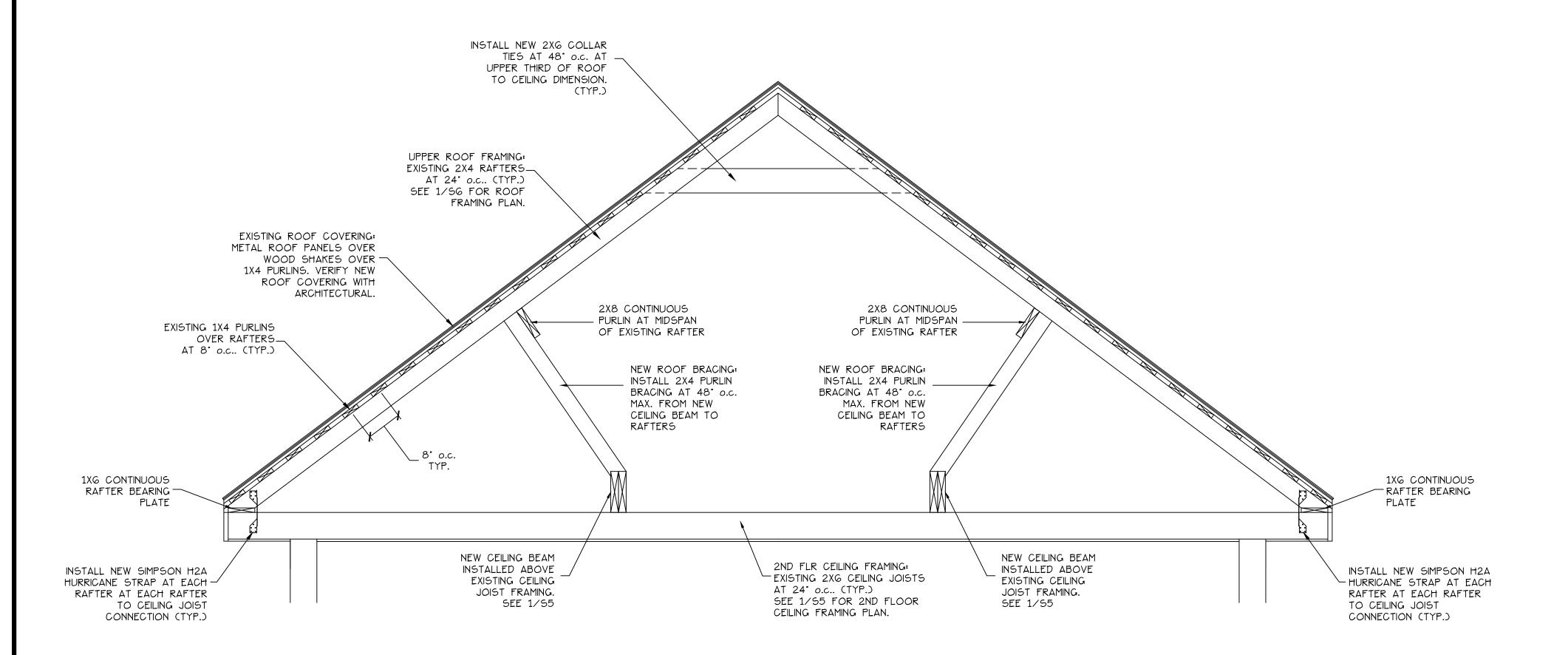
EPPS-MCGGILL FARMHOUS 679 EASTLAND AVENUE KINGSTREE, SC

EPPS-MCGILL PHASE 1

DWG NO: **S-6**

SCALE: 1/4" = 1'-0"





JPPER ROOF FRAMING BRACING SECTION SCALE: 3/4"=1'-0" BUILDING DESIGN CRITERIA:

- 1. STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE FOLLOWING:
 - 2021 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS WITH SC AMENDMENTS

MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE-7-16)

2021 INTERNATIONAL BUILDING CODE

- 2. THE FOLLOWING MINIMUM DESIGN LOADS APPLY TO THIS PROJECT:
 - A. RISK CATEGORY II
 - B. EXPOSURE CATEGORY B
 - C. ULTIMATE DESIGN WIND LOAD: Vult = 134 mph
 - D. NOMINAL DESIGN WIND SPEED: Vasd = 104 mph
 - E. SEISMIC DESIGN CATEGORY D1
 - F. SITE CLASS D (ASSUMED) G. ROOF LIVE LOAD = 20 psf
 - H FLOOR LIVE LOAD = 40 psf

GENERAL NOTES:

- 1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE PRIOR TO STARTING WORK AND SHALL NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING SITE CONDITIONS THAT ARE NOT CONSISTENT WITH THE CONSTRUCTION DOCUMENTS
- 2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND ERECTION OF TEMPORARY BRACING AND SHORING AS REQUIRED FOR STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
- THESE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL AND DRAWING/DOCUMENTS RELATING TO OTHER TRADES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN CHECK AND COORDINATION OF DIMENSIONS, CLEARANCES, ETC. WITH THE WORK OF THE OTHER TRADES. IN CASE OF CONFLICT, CONTACT ENGINEER.
- 4. WORK NOT INDICATED AS PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT AT CORRESPONDING PLACES SHALL BE REPEATED.
- 5. ALL SECTIONS AND DETAILS ARE TYPICAL AT SIMILAR LOCATIONS AND WHERE APPLICABLE.
- 6. THE CONTRACTOR SHALL CONSTRUCT THIS PROJECT IN ACCORDANCE WITH 2021 INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE BUILDING CODES.
- 7. THE DESIGN PROFESSIONALS SHALL HAVE NO CONTROL OVER NOR RESPONSIBILITY FOR THE CONTRACTOR'S MEANS, METHODS, SEQUENCE, TECHNIQUES, OR PROCEDURES IN PERFORMING THE WORK, SITE SAFETY, OR SAFETY PROGRAMS IN CONNECTION WITH THE WORK. THESE ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR, WHO IS ALSO RESPONSIBLE FOR COMPLYING WITH ALL HEALTH AND SAFETY PRECAUTIONS AS REQUIRED BY ANY REGULATORY AGENCIES.

GENERAL FOUNDATION SPECIFICATIONS:

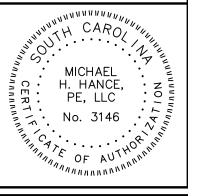
- 1. CONCRETE ANALYSIS HAS BEEN BASED UPON AMERICAN CONCRETE INSTITUTE ACI 318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."
- 2. FOUNDATIONS WERE DESIGNED BASED UPON AN ASSUMED MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1000 PSF FOR WALL FOOTINGS AND 1500 PSF FOR COLUMN FOUNDATIONS ON NATURAL SOIL. ALL FOUNDATIONS AND FOOTINGS ON FILL SOILS HAVE BEEN BASED UPON AN ASSUMED MAXIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 PSF.
- REINFORCING STEEL MEETING REQUIREMENTS OF ASTM AG15 GRADE GO DEFORMED SHALL BE PLACED AND HANDLED PER CONCRETE REINFORCING INSTITUTE "MANUAL OF STANDARD PRACTICE." REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR DISTANCE OF 3" FROM SIDES AND BOTTOM, AND 2" FROM TOP OF FOOTING UNLESS OTHERWISE NOTED.

CONCRETE:

- 1. ALL CONCRETE AND REBAR SHALL BE INSTALLED ACCORDING TO STANDARDS SET FORTH BY THE LATEST EDITION OF ACI - 318.
- 2. 28 DAY CONCRETE MINIMUM COMPRESSIVE STRENGTH SHALL BE AS FOLLOWS: FOOTINGS AND SLABS = 3000 PSI MIN. NO CALCIUM CHLORIDE SHALL BE USED IN MIX.
- 3. THE CONTRACTOR SHALL TAKE ADDITIONAL PRECAUTIONS WHEN CONCRETE IS TO BE PLACED AND CURED DURING COLD AND HOT WEATHER IS ADVISED THAT THE CONTRACTOR FOLLOW THE RECOMMENDATIONS PRESCRIBED BY AMERICAN CONCRETE INSTITUTE FOR COLD AND HOT WEATHER CONSTRUCTION.
- 4. NO WATER SHALL BE ADDED TO THE CONCRETE AT THE SITE UNLESS APPROVED BY THE ARCHITECT OR STRUCTURAL ENGINEER.
- 5. REINFORCING STEEL MEETING REQUIREMENTS OF ASTM AG15 GRADE GO DEFORMED SHALL BE PLACED AND HANDLED PER CONCRETE REINFORCING INSTITUTE "MANUAL OF STANDARD PRACTICE." REINFORCING STEEL SHALL HAVE A MINIMUM CLEAR DISTANCE OF 3" FROM SIDES AND BOTTOM, AND 2" FROM TOP OF FOOTING UNLESS OTHERWISE NOTED.
- PROVIDE PROPERLY TIED SPACERS, CHAIRS, BOLSTERS, ETC. AS REQUIRED AND NECESSARY TO ASSEMBLE, PLACE, SUPPORT, ALL REINFORCING USE WIRE BAR TYPE SUPPORTS COMPLYING WITH CRSI RECOMMENDATIONS. USE PLASTIC TIP LEGS ON ALL EXPOSED CONCRETE.

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MCGGILL EASTLAN KINGSTRI EPPS-I 679

EPPS-MCGILL PHASE 1

DWG NO: **S-7**